

**OLD KING'S HIGHWAY HISTORIC DISTRICT COMMITTEE – JUNE 17TH MEETING
MEETING MATERIALS – TABLE OF CONTENTS**

| | |
|-----------------|---|
| PAGE 2 | Golden, William, 187 Keveney Lane, Barnstable, Map 351, Parcel 058/000, built 1985 Install 25 Solaria 3670 Watt all black solar panels on existing roof plane |
| PAGE 14 | Braga, Alex, 344 Oakmont Road, Barnstable, Map 334, Parcel 027/000, built 1984 Addition of a three-car garage and breezeway, construction of pool house, remove existing pool and reconstruct a new pool in the same location 18'X40' including new pool decking |
| PAGE 41 | Munsell, David, 3074 Main Street, Barnstable, Map 279, Parcel 035, Daniel Davis House, Admiral Herbert Howard House, built 1739, contributing structure in the Old King's Highway Historic District Replace aluminum storm door and side lites with 3'x6'8", 9 lite fiberglass door with 3 lite 14" side panels; install new screen door white buck bottom to match door height; installed in existing opening |
| PAGE 46 | Limarino, Andre, named buyer in a Purchase and Sales agreement with Bellino, Jeffrey & Anne, 167 Stoney Cove Lane, Map 351, 007/001, vacant land Construct two-story single family home with a two-car garage |
| PAGE 82 | McCullough Family Trust, 3861 Main Street, Barnstable, Map 335, Parcel 008/002, built 1958 Raise roof line to add a second story to right elevation, including a two-car garage with cupola, remove existing shed and replace with addition including new second story space above |
| PAGE 112 | Hunt, Kevin and Dorene, 558 Cedar Street, West Barnstable, Map 109, Parcel 048/000, built 1975 Construct detached barn 24'X32' |
| PAGE 120 | <i>Continued from May 27, 2020</i> - Gannon, Janice, 235 High Street, West Barnstable, Map 111, Parcel 019, built 1969 Install 75 linear feet of 6' high stockade fence in rear |
| PAGE 126 | Carney, Mary Elizabeth, & Zaatar, Khalid, 140 Brentwood Lane, Barnstable, Map 333, Parcel 003/002, built 2001 Remove existing shed and replace with pool house |
| PAGE 131 | Kilroy, John, 39 Bayberry Lane, Barnstable, Map 335, Parcel 043, built 1965 Construct a 168sqft addition to the southeast elevation |
| PAGE 140 | Flynn, Joseph, 156 Tonela Lane, Barnstable, Map 336, Parcel 032, built 1980 Install 3ft split rail fence in the rear of the property, constructed of natural wood, unpainted |
| PAGE 144 | Borowski, Matthew & Kimberly, 126 Plum Street, West Barnstable, Map 195, Parcel 024, built 1998 Move window 8" on second floor rear of home |
| PAGE 147 | Harvey, Andrew & Kathryn, Trustees, 29 Maggie Lane, Barnstable, Map 217, Parcel 017, built 2002 Construct 10' X 16' shed |
| PAGE 151 | Sandler, Hilary & Hendrickson, Lisa, 604 Cedar Street, West Barnstable, Map 109, Parcel 045, built 1981 Remove existing decking and stairs; reconstruct deck with expansion and add stairs |
| PAGE 154 | Franze, Anthony, 2310 Main Street, West Barnstable, Map 237, Parcel 017/001, built 1947 Construct a 12.6'X16' shed, cedar shingle siding with asphalt roof |

| | |
|-----------------|---|
| PAGE 157 | Maloney, Donna & Sylvester, 235 Boulder Road, Barnstable, Map 315, Parcel 036, built 1986 Remove existing boxed window and replace with two double-hung windows; remove 6' slider and replace with two double-hung windows, all in the rear |
| PAGE 163 | Schuck, Wendy & Gerri, 164 Millay, Barnstable, Map 300, Parcel 036, built 1872 Change approved over-head garage doors to two sliding door panels constructed of antique wood |
| PAGE 166 | Werner, Kevin, 3826 Main Street, Barnstable, Map 335, Parcel 018/000, Henry Hogan House, built 1853, contributing structure in the Old King's Highway Historic District Replace existing 9 lite Deck door, with a 5' French door (15 lite SDL, white); also replace single fixed casement window on rear facing gable end with a three window grouping – windows are fixed casement without grills, white in color |
| PAGE 169 | EBI Consulting, project code 612004909 , Invitation to Comment regarding the proposed telecommunication facility installation at 2049 Meetinghouse Way, West Barnstable |



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, TEL: 508-862-4787 Fax 508-862-4784

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 4/24/20

NOTE All applications must be signed by the current owner

Owner (print): William Golden Telephone #: 508-362-9409

Address of Proposed Work: 187 Keveny Lane Village _____ Map Lot # 351/058

Mailing Address (if different) _____

Owner's Signature see attached consent form

Description of Proposed Work: Give particulars of work to be done: _____

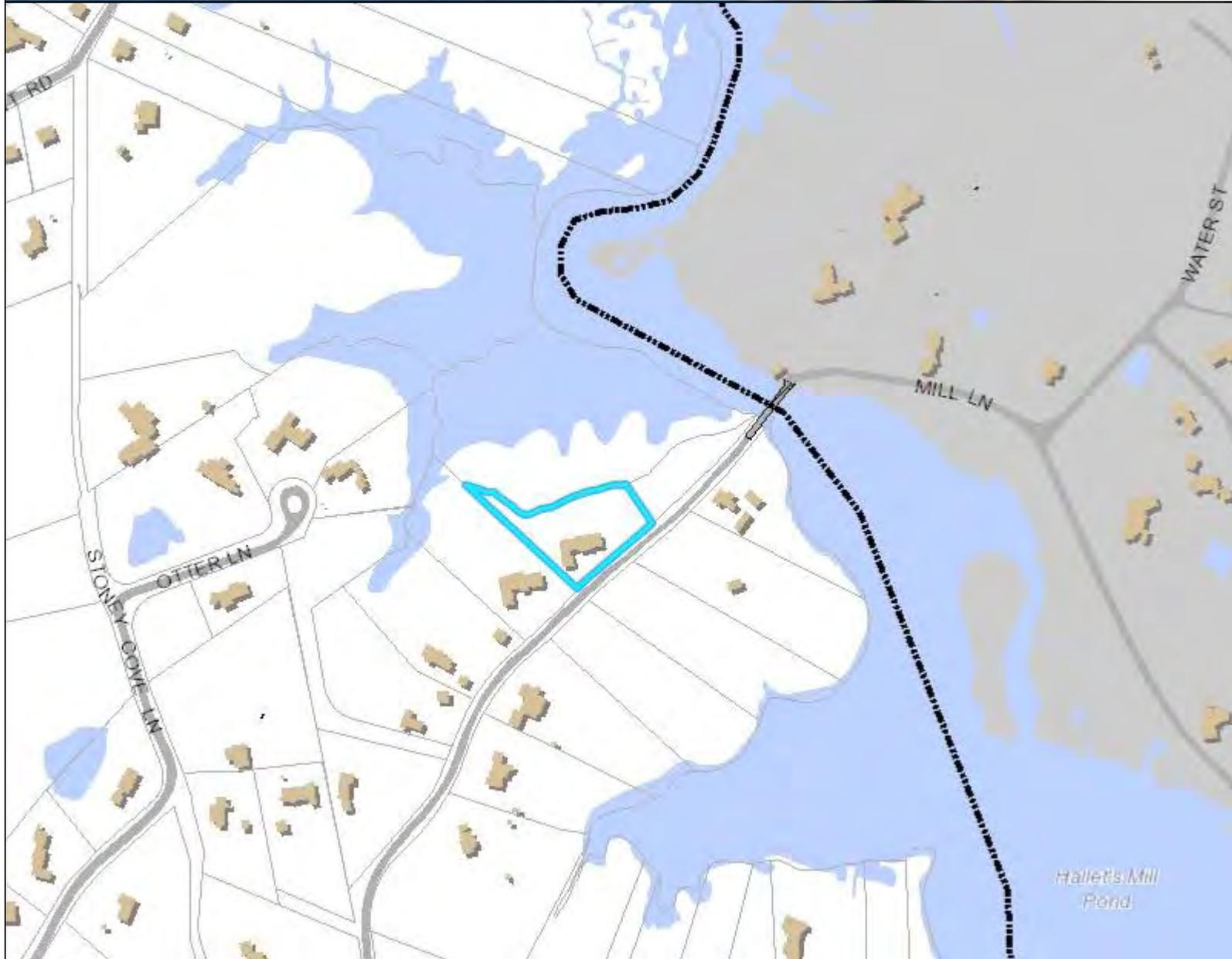
Installation of 25 Solaria 370 watt all black modules to be flush mounted on existing roof plane

Agent or Contractor (print): Neal Holmgren/Solar Rising LLC Telephone #: 508 744 6284

Address: 759 Falmouth Road Unit 8 Mashpee MA 02649

Contractor/Agent' signature: Neal Holmgren

| | |
|--|--------------------------|
| For committee use only. This Certificate is hereby APPROVED/ DENIED | |
| Date _____ | Members signatures _____ |
| _____ | _____ |
| _____ | _____ |



Legend

- Parcels
- - - Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/8/2020



Approx. Scale: 1 inch = 333 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

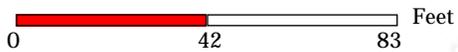


Legend

Road Names



Map printed on: 6/8/2020



Approx. Scale: 1 inch = 42 feet



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gis@town.barnstable.ma.us

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ___ white cedar ___ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Neal Holmgren Print Name Neal Holmgren



Solaria PowerXT®-370R-PD

Achieving 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black™ panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

Developed in California, Solaria's patented cell cutting and panel assembly takes processed solar wafers and turns them into PowerXT solar panels. The process starts by creating a highly reliable PowerXT cell where busbars and ribbon interconnections are eliminated. Solaria then packages the cells into the PowerXT solar panel, reducing inactive space between the cells. This process leads to an exceptionally cost effective and efficient solar panel.

Higher Efficiency, Higher Power

Solaria PowerXT panels achieve up to 20% efficiency; conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

Improved Shading Tolerance

Sub-strings are interconnected in parallel, within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and superior aesthetics.

Durability and Reliability

Solder-less cell interconnections are highly reliable and designed to far exceed the industry leading 25 year warranty.



About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios, with over 65 patents encompassing materials, processes, applications, products, manufacturing automation and equipment. Headquartered in Oakland, CA, Solaria has developed a technology platform that unlocks the potential of solar energy.



Performance at STC (1000W/m², 25° C, AM 1.5)

| Solaria PowerXT- | | 360R-PD | 370R-PD |
|--|-----|---------|---------|
| Max Power (P _{max}) | [W] | 360 | 370 |
| Efficiency | [%] | 19.9 | 20.5 |
| Open Circuit Voltage (V _{oc}) | [V] | 47.7 | 48.3 |
| Short Circuit Current (I _{sc}) | [A] | 9.56 | 9.60 |
| Max Power Voltage (V _{mp}) | [V] | 39.5 | 40.2 |
| Max Power Current (I _{mp}) | [A] | 9.13 | 9.20 |
| Power Tolerance | [%] | -0/+3 | -0/+3 |

Performance at NOCT (800W/m², 20° C Amb, Wind 1 m/s, AM 1.5)

| | | | |
|--|-----|------|------|
| Max Power (P _{max}) | [W] | 265 | 272 |
| Open Circuit Voltage (V _{oc}) | [V] | 44.8 | 45.4 |
| Short Circuit Current (I _{sc}) | [A] | 7.71 | 7.74 |
| Max Power Voltage (V _{mp}) | [V] | 36.3 | 37.0 |
| Max Power Current (I _{mp}) | [A] | 7.30 | 7.35 |

Temperature Characteristics

| | | |
|----------------------------------|----------|---------|
| NOCT | [°C] | 45 +/-2 |
| Temp. Coeff. of P _{max} | [% / °C] | -0.39 |
| Temp. Coeff. of V _{oc} | [% / °C] | -0.29 |
| Temp. Coeff. of I _{sc} | [% / °C] | 0.04 |

Design Parameters

| | | |
|-----------------------|------|------------|
| Operating temperature | [°C] | -40 to +85 |
| Max System Voltage | [V] | 1000 |
| Max Fuse Rating | [A] | 15 |
| Bypass Diodes | [#] | 4 |

IV Curves vs. Irradiance (370W Panel)



Mechanical Characteristics

| | |
|------------------------|------------------------------|
| Cell Type | Monocrystalline Silicon |
| Dimensions (L x W x H) | 1621mm x 1116mm x 40mm |
| Weight | 21 kg / 46 lbs |
| Glass Type / Thickness | AR Coated, Tempered / 3.2mm |
| Frame Type | Black Anodized Aluminum |
| Cable Type / Length | 12 AWG PV Wire (UL) / 1000mm |
| Connector Type | MC4 |
| Junction Box | IP67 / 4 diodes |
| Front Load | 5400 Pa / 113 psf* |
| Rear Load | 3600 Pa / 75 psf* |

* Refer to Solaria Installation Manual for details

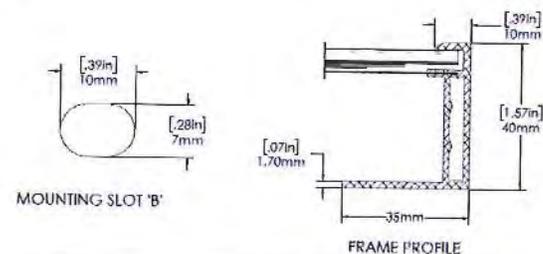
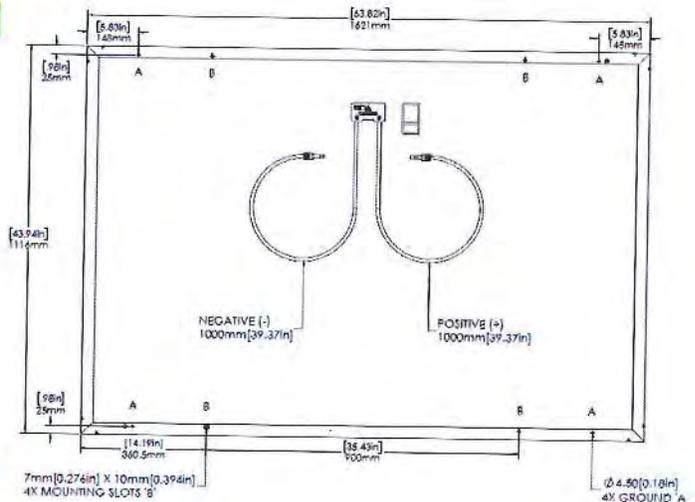
Certifications / Warranty

| | |
|--------------------------|--|
| Certifications | UL 1703/IEC 61215/IEC 61730/CEC CAN/CSA-C22.2 |
| Fire Type (UL 1703) | 1 |
| Power & Product Warranty | 25 years* |

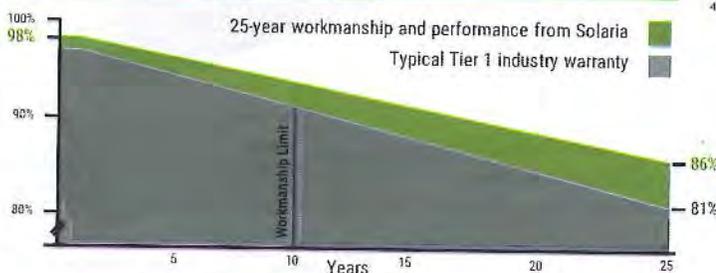
* Warranty details at www.solaria.com

Packaging

| | |
|---------------------------|-------------------------|
| Stacking Method | Horizontal / Palletized |
| Pcs / Pallet | 25 |
| Pallet Dims | 1668 x 1150 x 1230 mm |
| Pallet Weight | 590 kg / 1300 lbs |
| Pallets / 40-ft Container | 28 |
| Pcs / 40-ft Container | 700 |



Comprehensive 25-Year Warranty



**Grid Tied Photovoltaic System
DC Rating 9.25kw**

Bill Golden
187 Keveney Lne
Cummaquid, MA 02637

Site Details:

Solar Rising shall install a 9.25kW grid-tied Photovoltaic system comprised of (25) Solaria 370 watt Modules with (25) Microinverters. The Modules will be flush mounted to the asphalt roof.

Equipment Specifications:

Modules: (25) Solaria 370
Inverters: (25) Enphase Microinverters IQ 7+
Racking: Unirac Solar Mount
Attachments: L-Foot

Roof Specifications:

Roof Structure:
Asphalt
2x10" Rafters 16" O/C
Pitch: 42° Azimuth: 190°

Site Specifications:

Occupancy: II
Design Wind Speed: 110 MPH
Mean Roof Height: 22ft
Ground Snow Load: 30 PSF

All Work To be in Compliance with:

2017 National Electrical Code (NEC)
2015 International Residential Code (IRC) with MA Amendments
2009 International Building Code (IBC)
2012 International Fire Code (IFC)
MA 780 CMR 9th Edition
ASCE/ANSI 7-05 Minimum Design Loads for Buildings and other Structures.



Solar Rising LLC
508-744-6284
759 Falmouth Rd Unit 8
Mashpee, Ma 02649

Project: Bill Golden
187 Keveney Lne
Cummaquid, MA 02637

Solar Rising Building Permit Plans

Revision: 03/03/20

Scale: None

Drawn By: Neal Holmgren

| | |
|-------------------|-------------------------|
| Species | Spruce-Pine-Fir |
| Size | 2x8 |
| Grade | No. 2 |
| Member Type | Rafters (Snow Load) |
| Deflection Limit | L/180 |
| Spacing (in) | 16 |
| Exterior Exposure | No |
| | Wet service conditions? |
| | No |
| | Incised lumber? |
| | No |
| Snow Load (psf) | 35 |
| Dead Load (psf) | 10 |

Calculate Maximum Horizontal Span

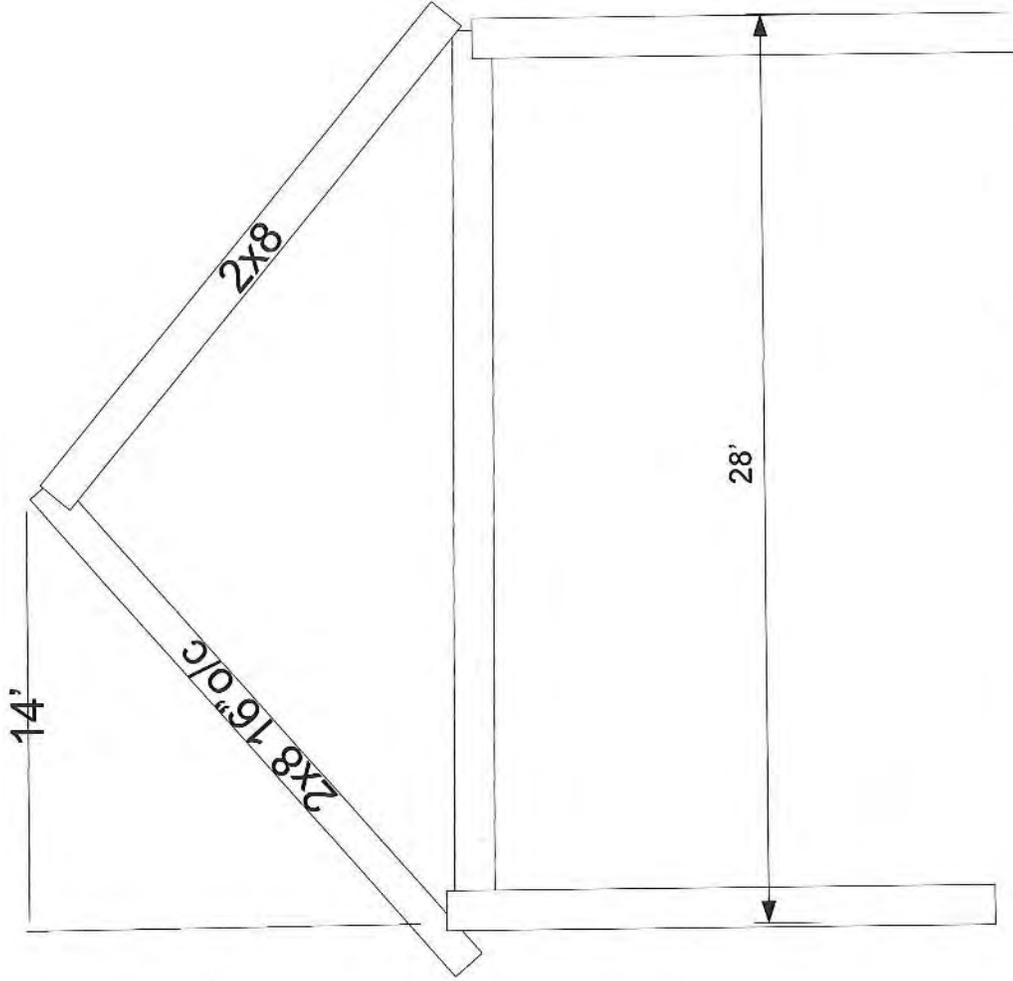
Go to Span Options Calculator for Wood Joists & Rafters

The Maximum Horizontal Span is:

14 ft. 3 in.

with a minimum bearing length of 0.67 in. required at each end of the member.

| Property | Value |
|-------------------------------------|-----------------|
| Species | Spruce-Pine-Fir |
| Grade | No. 2 |
| Size | 2x8 |
| Modulus of Elasticity (E) | 1400000 psi |
| Bending Strength (F _b) | 1388.62 psi |
| Bearing Strength (F _{cp}) | 425 psi |
| Shear Strength (F _v) | 155.25 psi |

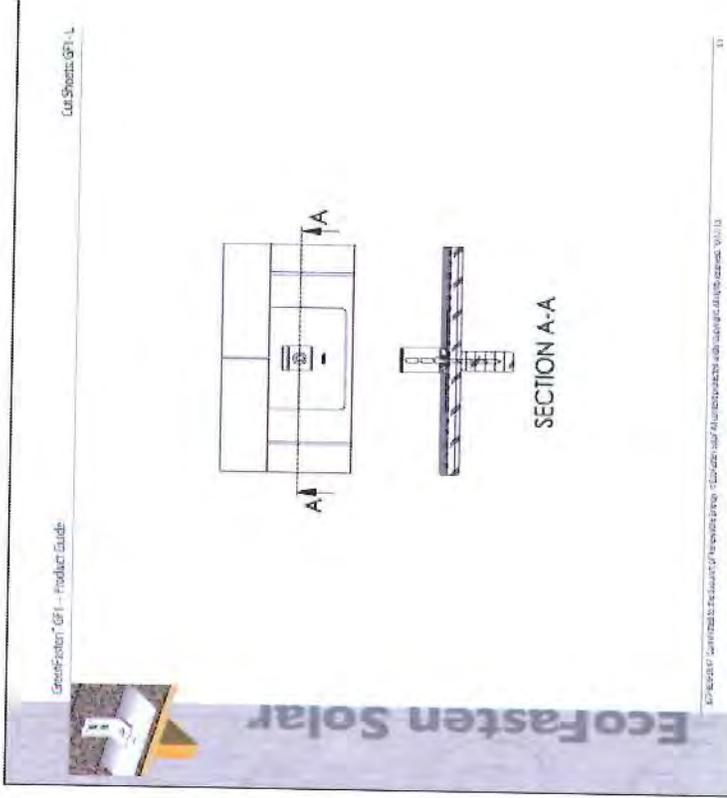
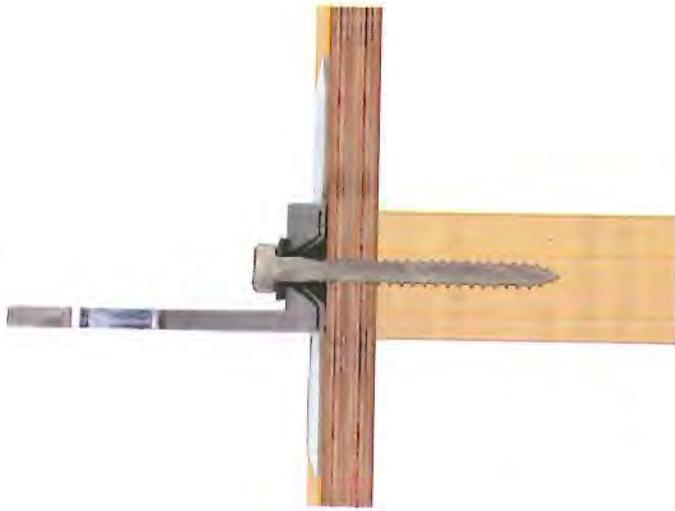


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508-744-6284
759 Falmouth Rd Unit 8
Mashpee, Ma 02649

Project: Bill Golden
187 Keveney Lne
Cummaquid, MA 02637

Solar Rising Building Permit Plans
Revision: 03/03/20
Scale:
Drawn By: Neal Holmgren





Solar Modules to be flush mounted to existing roof structure and set above roof 4"



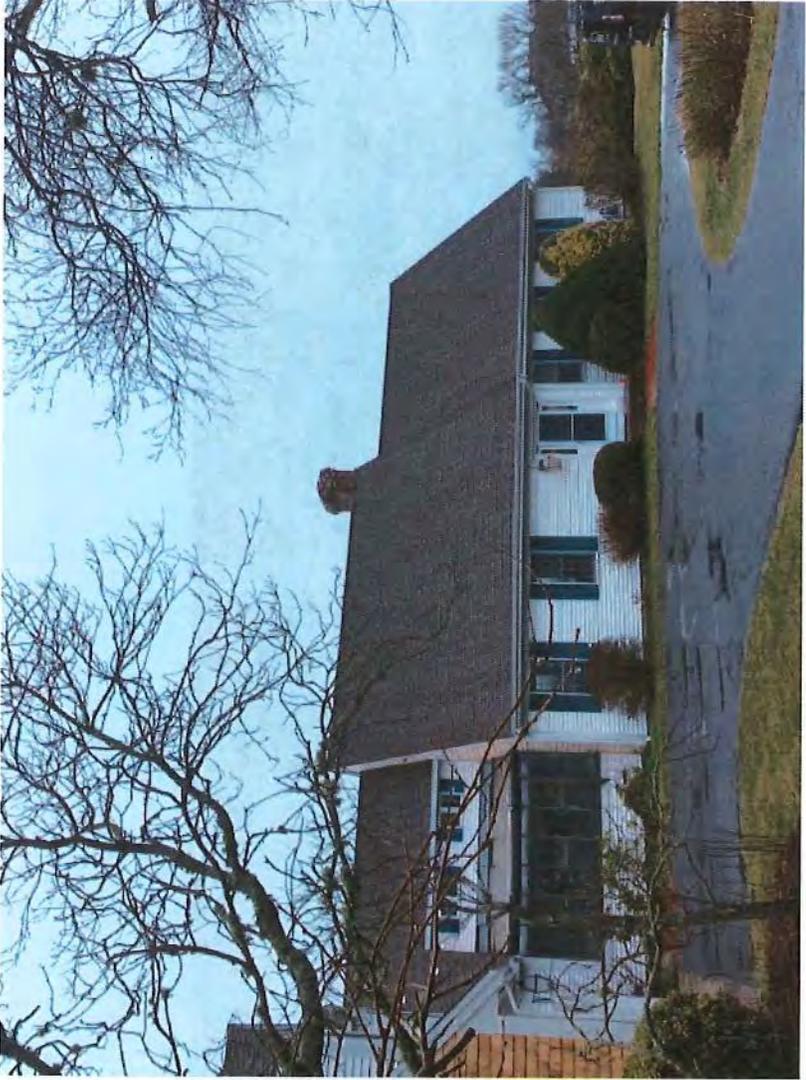
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 759 Falmouth Rd Unit 8
 Mashpee, Ma 02649

Project: Bill Golden
 187 Keweenaw Lane
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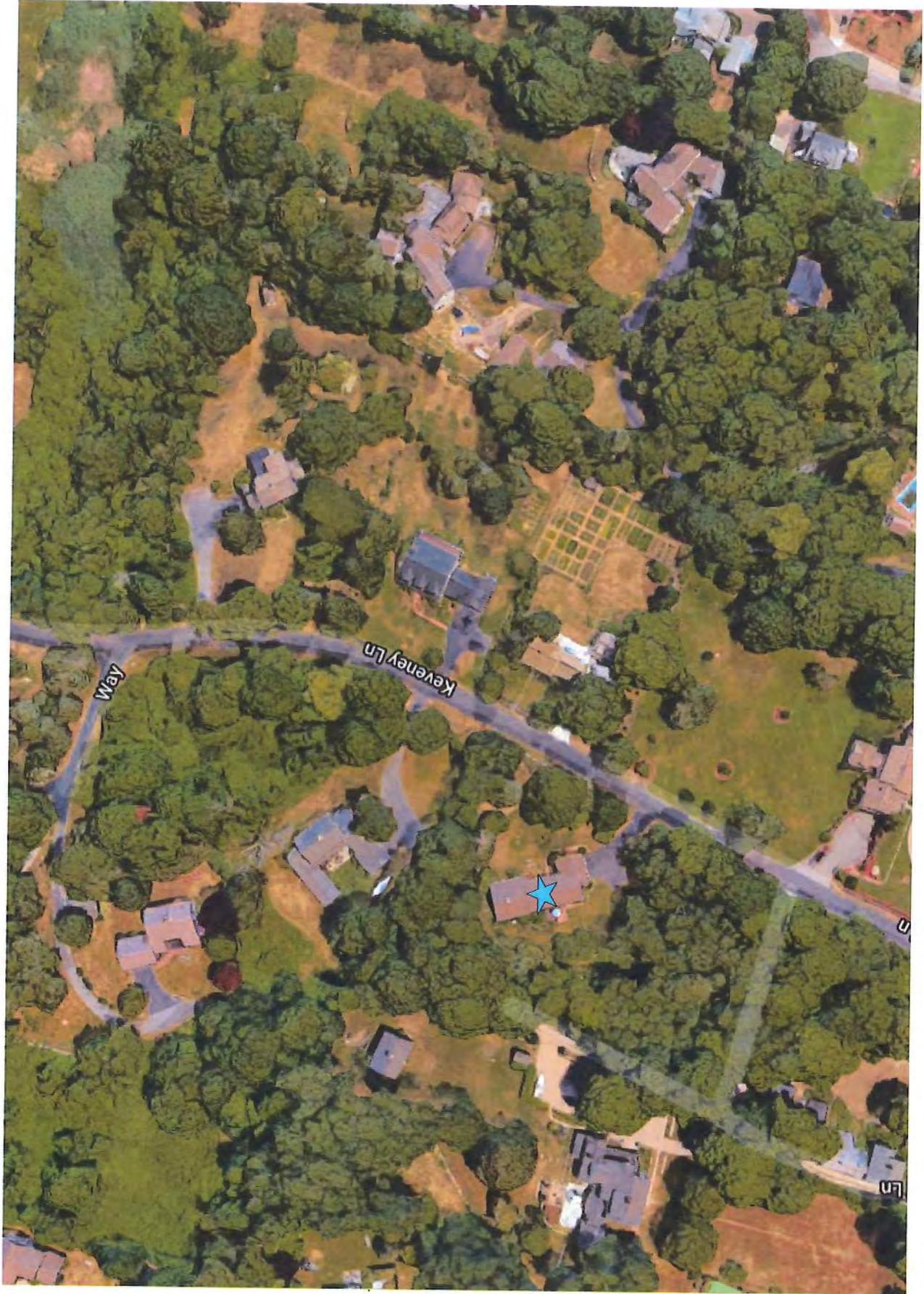
Solar Rising Building Permit Plans

Revision: 03/03/20

Scale: None









Barnstable Old Kings Highway Historic District Committee
 200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other



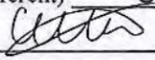
Type or Print Legibly: Date 5/20/2020

NOTE All applications must be signed by the current owner

Owner (print): Alex Braga Telephone #: 774-487-0199

Address of Proposed Work: 344 Oakmont rd Village Barnstable Map Lot # 334 / 027/

Mailing Address (if different) 344 Oakmont rd Yarmouthport MA 02675

Owner's Signature 

Description of Proposed Work: Give particulars of work to be done: _____

Addition to the main house

New 3 car garage

New Pool House Replacement of existing pool by new 18x40 pool same location

Agent or Contractor (print): Fabulous Building and Remodeling Inc, Telephone #: 508-360-9237

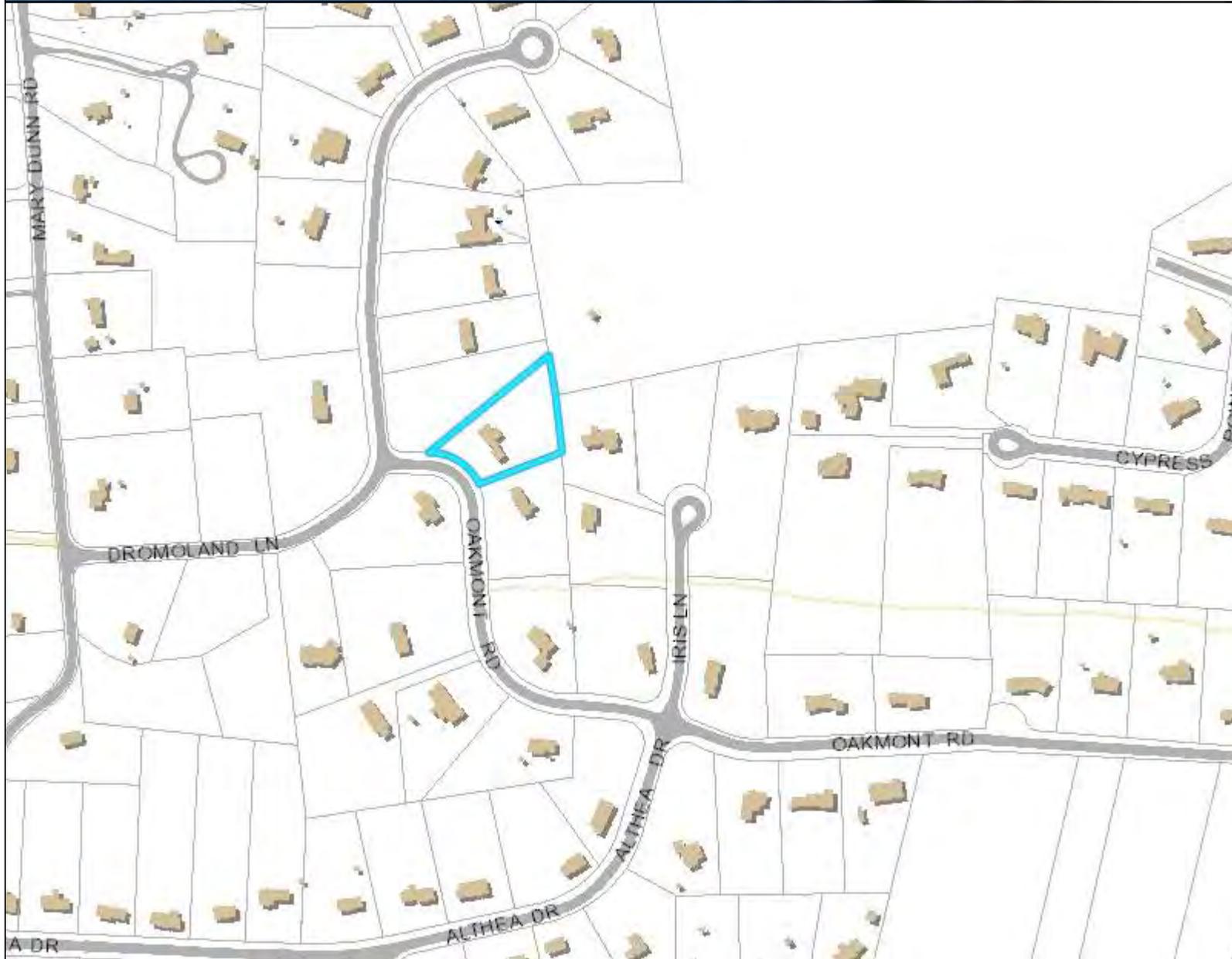
Address: 11 Sierra way West Yarmouth MA 02673

Contractor/Agent' signature: 

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/8/2020



Approx. Scale: 1 inch = 333 feet



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Legend

Road Names



Map printed on: 6/8/2020



Approx. Scale: 1 inch = 42 feet



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CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5** copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Poured Cement

Siding Type: Clapboard ___ shingle other ___ natural stained
Material: red cedar ___ white cedar other ___ Color: shingles

Chimney Material: Masonry Color: Red Bricks

Roof Material: (make & style) Same Architectural Asphalt Black Color: Black

Roof Pitch(s): (7/12 minimum) 12/7 (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify No trim

Size of cornerboards 1x6 size of casings (1 X 4 min.) 1x6 color Terratone

Rakes 1st member 1x8 2nd member 1x3 Depth of overhang 1x8

Window: (make/model) Anderson 400 series or Harvey Equivalent material Vinyl color Terratone
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass removable interior ___ None ___

Door style and make: ___ material ___ Color: ___

Garage Door, Style Carriage House Size of opening 9'x8' Material ___ Color Black

Shutter Type/Style/Material: Louvered Shutter vinyl Color: Black

Gutter Type/Material: Seamless, aluminum Color: Terratone

Deck material: wood ___ other material, specify Azek Color: Terratone

Skylight, type/make/model/: ___ material ___ Color: ___ Size: ___

Sign size: ___ Type/Materials: ___ Color: ___

Fence Type (max 6') Style Metal Wire material: Metal Color: Black

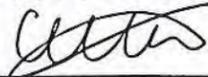
Retaining wall: Material: Masonry

Lighting, freestanding ___ on building ___ illuminating sign ___

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Alex Braga Print Name 

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties**, (1 copy only)
A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 3424sqft sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 4424sqft sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 Main house Addition 1858sqft sq. ft. Building 2 Pool House 836sqft

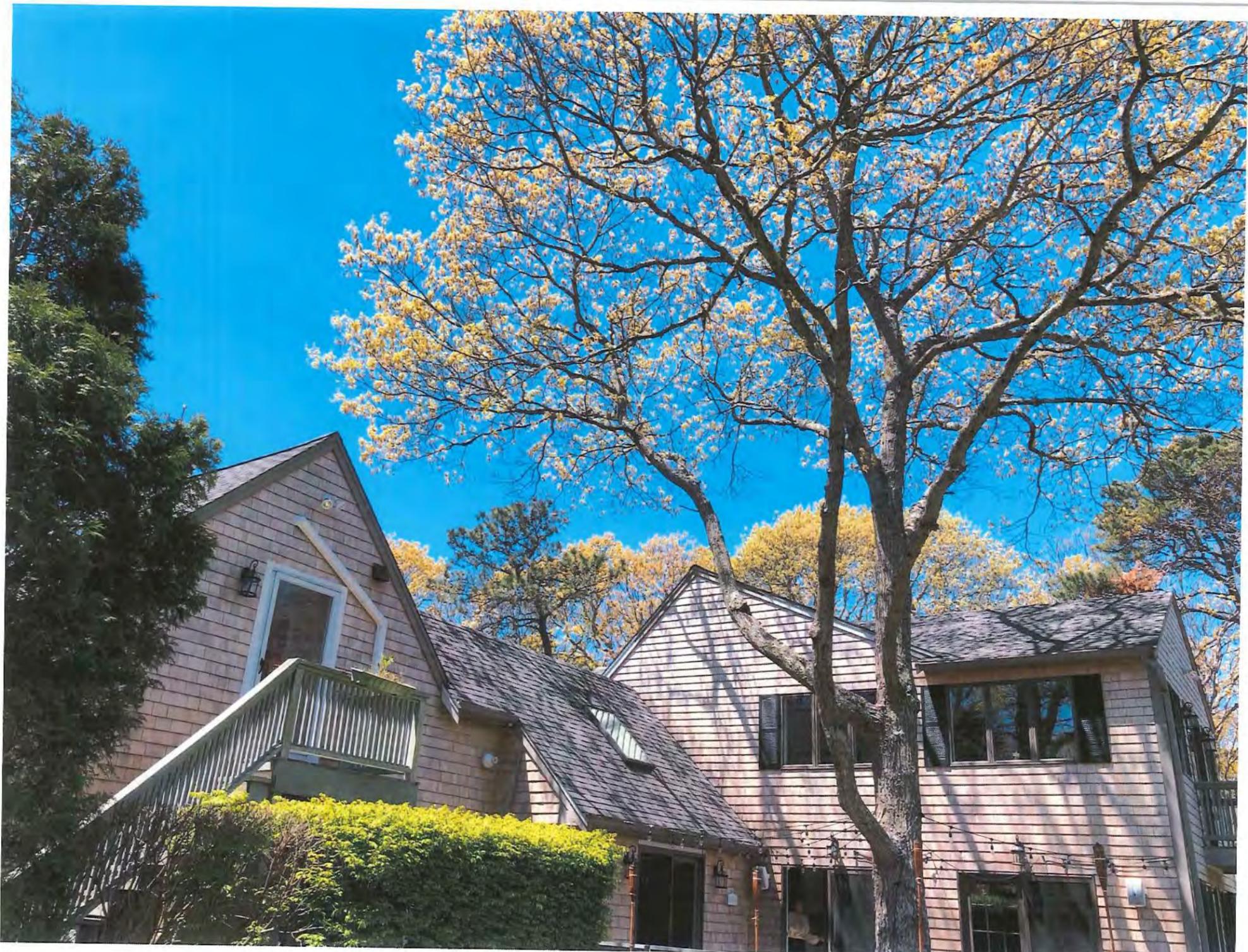
New Building or addition, gross floor area, including area of finished basement:

Building 1 Main house addition 2386sqft sq. ft. Building 2 Pool house 1672sqft















PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

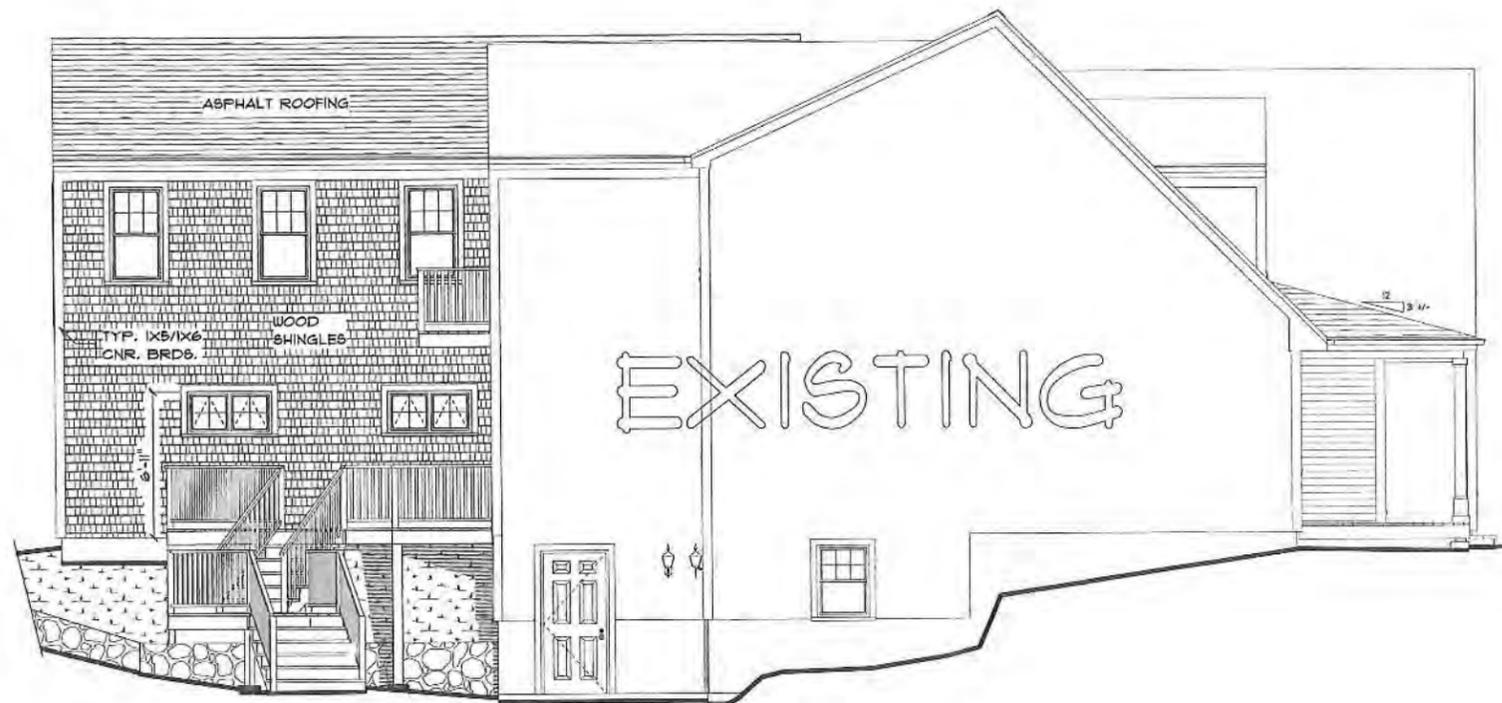
NOTE

ENGINEER REPORT SPECIFICATIONS DATED 12/14/2019 IS PART OF THIS DESIGN, SHOWS CONNECTION AND DESIGN REQUIREMENTS.



| | | | | | | | | | |
|-----------------------|--|--|---|--------------------------------|------------------------------|-------------------------------|----------------------------------|------------------------------------|--|
| <p>BUILDER</p> | <p>JOB ADDRESS BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUYUID, MA. 02675</p> | <p>DESIGN ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE.</p> | <p>WWW.JBHOMEDESIGNS.COM</p> | <p>DATE 12-3-19</p> | <p>REVISION #</p> | <p>DRAWN BY JB</p> | <p>PAGE # 1 OF 10</p> | <p>SCALE 1/4"=1'-0"</p> | <p>JB Designs P.O. BOX 289 WEST BARNSTABLE MA. 02668 (508) 494-9534</p> |
|-----------------------|--|--|---|--------------------------------|------------------------------|-------------------------------|----------------------------------|------------------------------------|--|

(1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
(2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER.
(3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH WITH LOCAL ENGINEER AND BUILDING OFFICIALS.
(4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.



PROPOSED LEFT ELEVATION



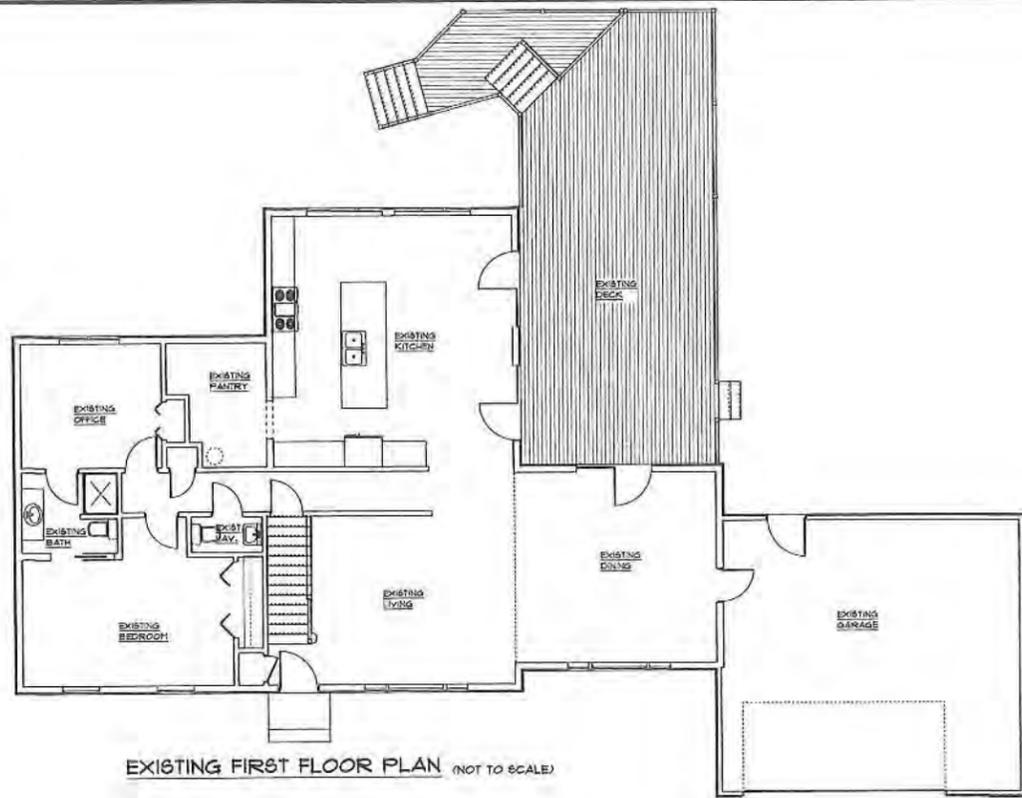
PROPOSED RIGHT ELEVATION



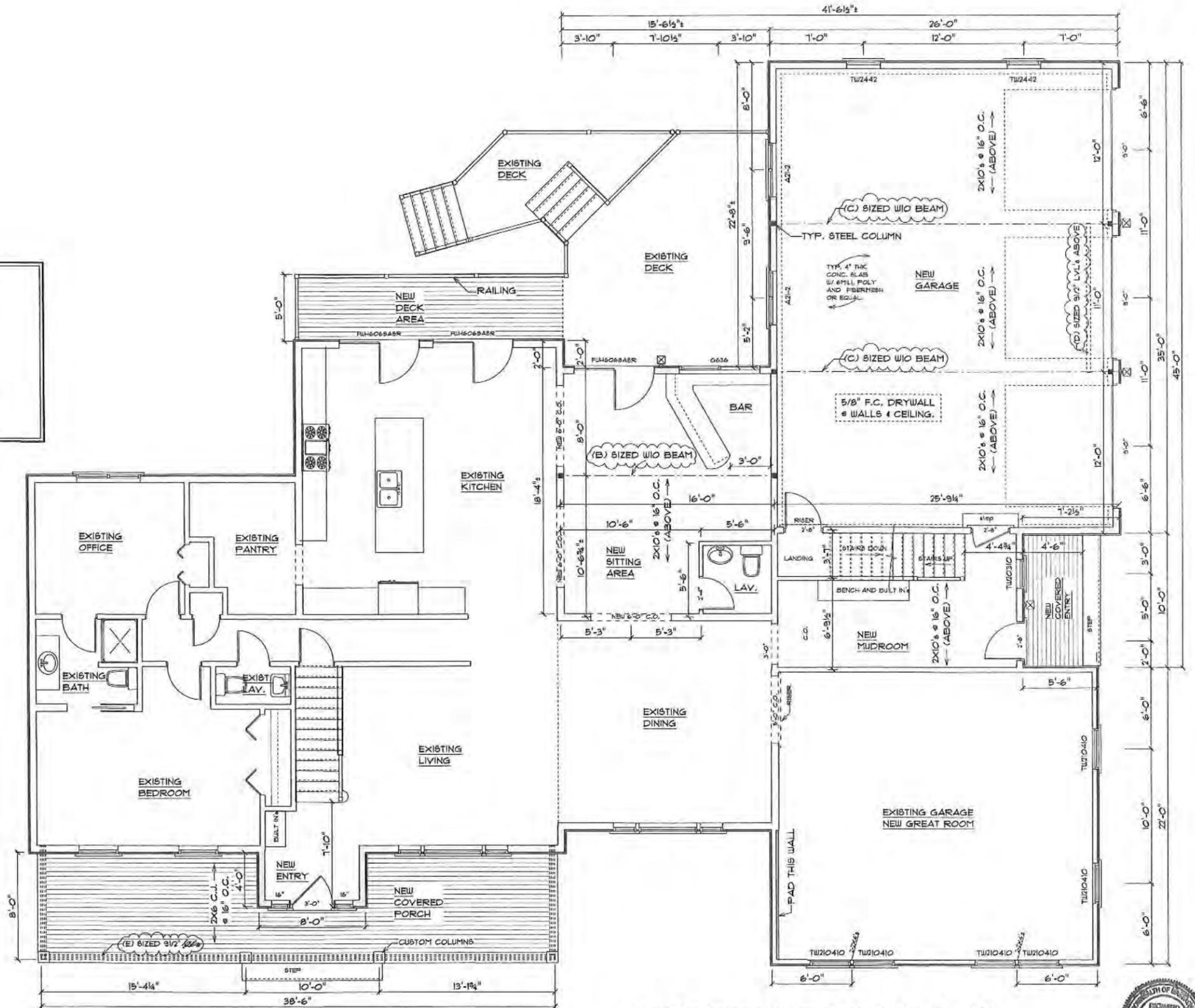
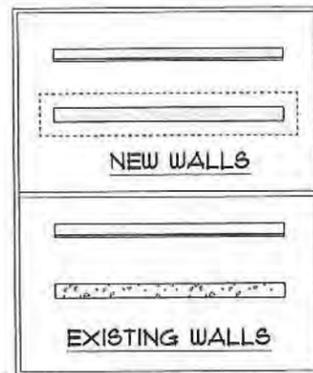
J. B. Designs
12/14/19

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|-----------------------|---|--|---|--------------------------------|------------------------------|-------------------------------|--------------------------------|------------------------------------|--|
| <p>BUILDER</p> | <p>JOB ADDRESS BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02675</p> | <p>DESIGN ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE.</p> | <p>WWW.JBHOMEDESIGNS.COM</p> | <p>DATE 12-3-19</p> | <p>REVISION #</p> | <p>DRAWN BY JB</p> | <p>PAGE 2 OF 10</p> | <p>SCALE 1/4"=1'-0"</p> | <p>JB Designs P.O. BOX 309 WEST BARNSTABLE MA. 02668 (508) 494-9534</p> |
|-----------------------|---|--|---|--------------------------------|------------------------------|-------------------------------|--------------------------------|------------------------------------|--|

(1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGN IS NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
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EXISTING FIRST FLOOR PLAN (NOT TO SCALE)



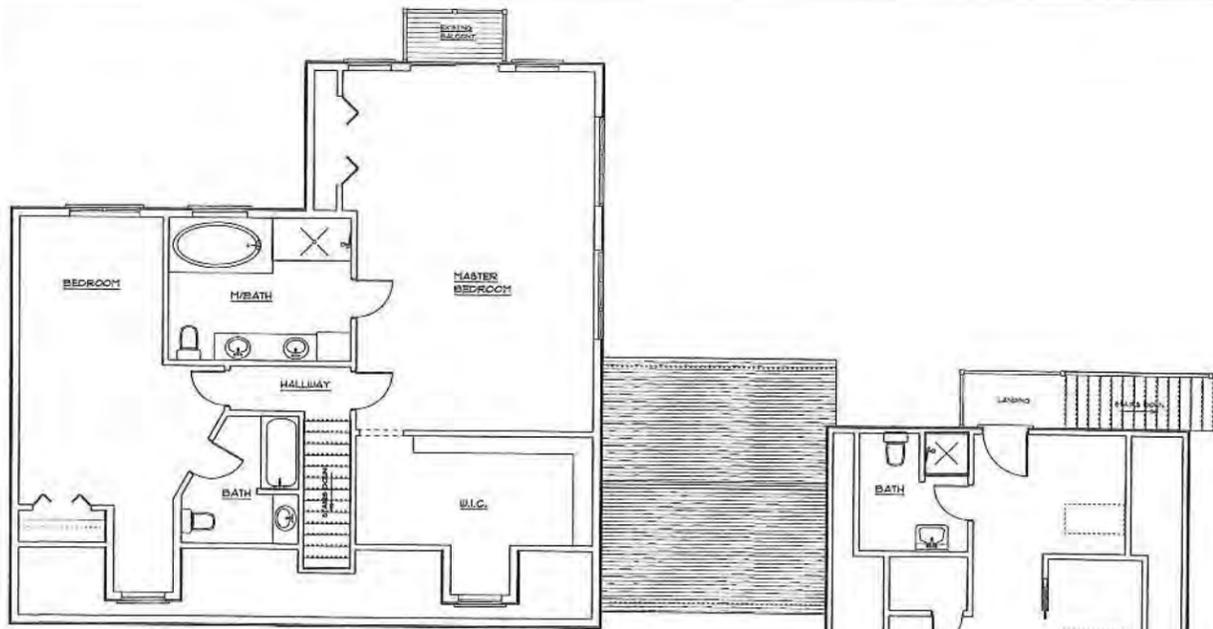
PROPOSED FIRST FLOOR PLAN



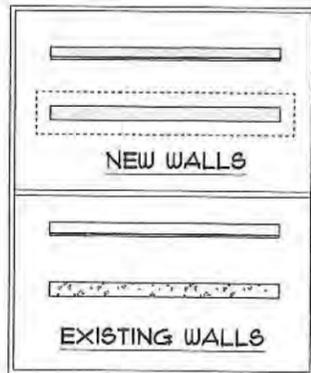
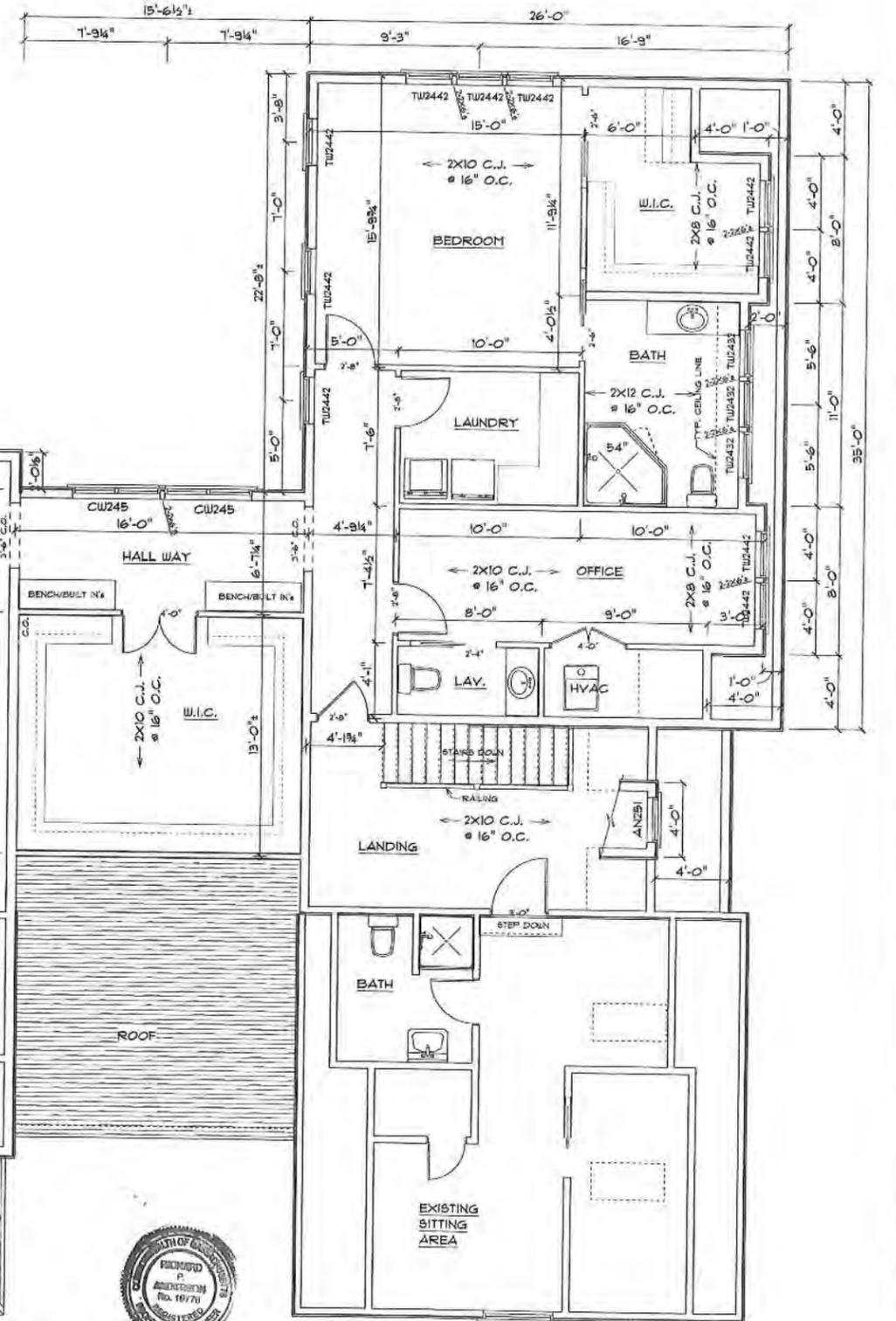
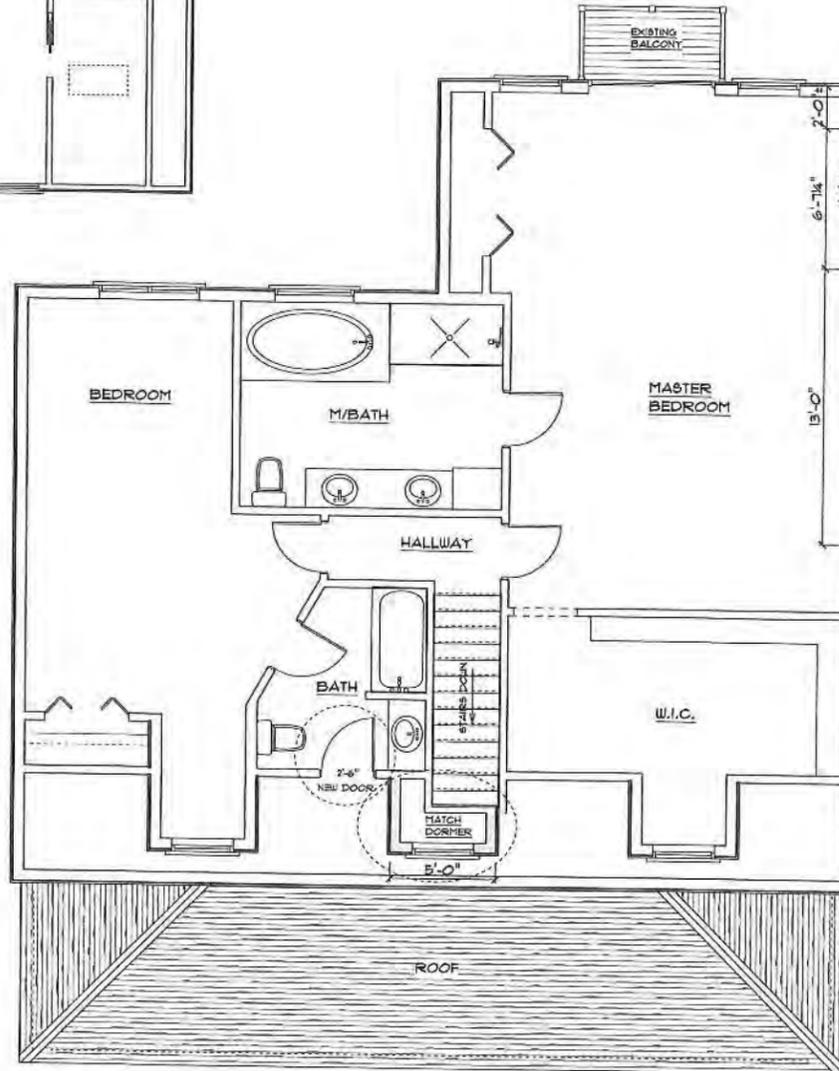
Richard P. Anderson
12/14/17

| | | | | | | | | | |
|---|---|--|--|------------------------|----------------------|-----------------------|-------------------------|----------------------------|--|
| BUILDER BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02615 | JOB ADDRESS BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02615 | DESIGN ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE. | WWW.JBHOMEDESIGNS.COM | DATE 12-3-19 | REVISION # | DRAWN BY JB | PAGE .3 OF 10 | SCALE 1/4"=1'-0" | JB Designs F.O. BOX 295 WEST CANTONABLE MA. 02560 (508) 494-9534 |
|---|---|--|--|------------------------|----------------------|-----------------------|-------------------------|----------------------------|--|

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EXISTING SECOND FLOOR (NOT TO SCALE)

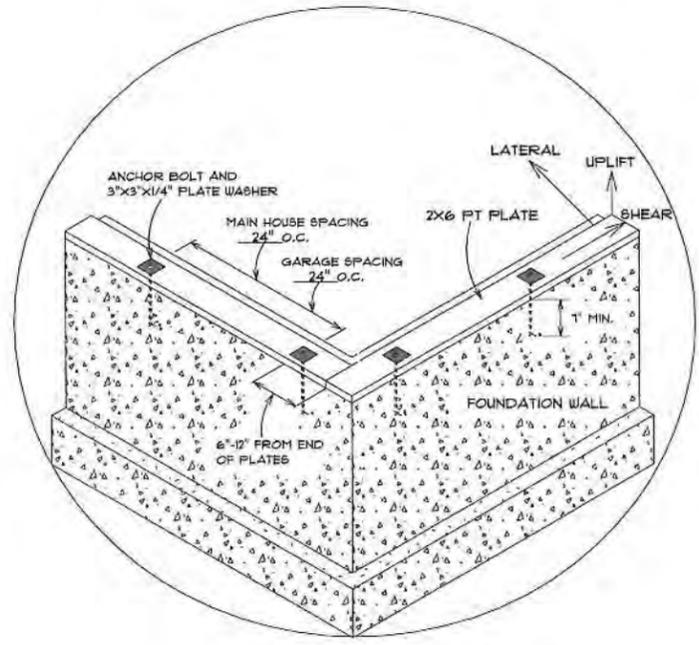


12/14/19

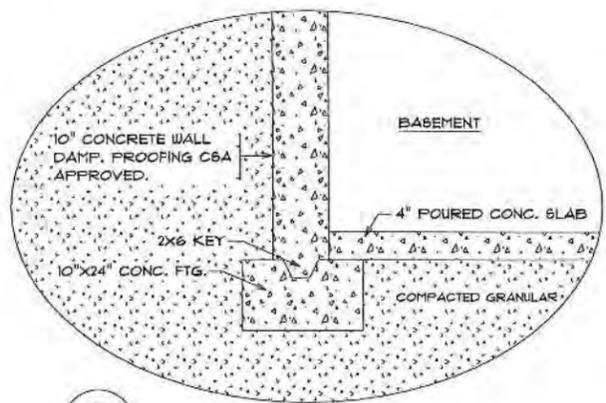
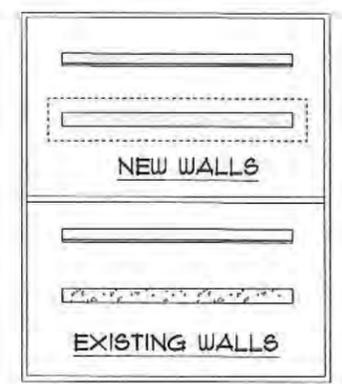
PROPOSED SECOND FLOOR PLAN

| | | | | | | | | |
|---|---|---|------------------------|----------------------|-----------------------|------------------------|----------------------------|--|
| BUILDER BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02675 | JOB ADDRESS ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE. | DESIGN WWW.JBHOMEDESIGNS.COM | DATE 12-3-19 | REVISION # | DRAWN BY JB | PAGE 4 OF 10 | SCALE 1/4"=1'-0" | JB Designs P.O. BOX 295 WEST BARNSTABLE MA. 02668 (508) 494-9534 |
|---|---|---|------------------------|----------------------|-----------------------|------------------------|----------------------------|--|

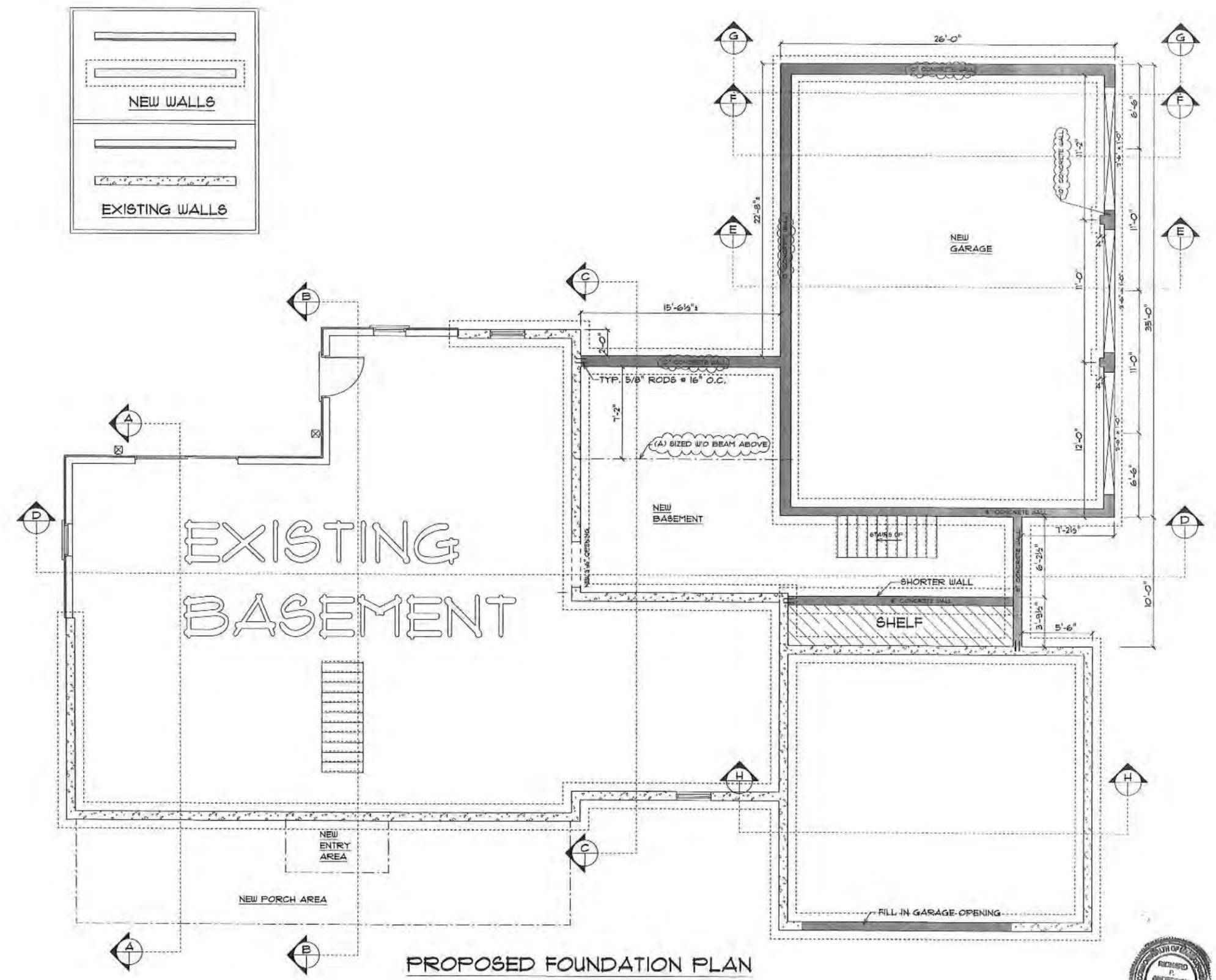
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TYP. ANCHOR BOLT SPACING



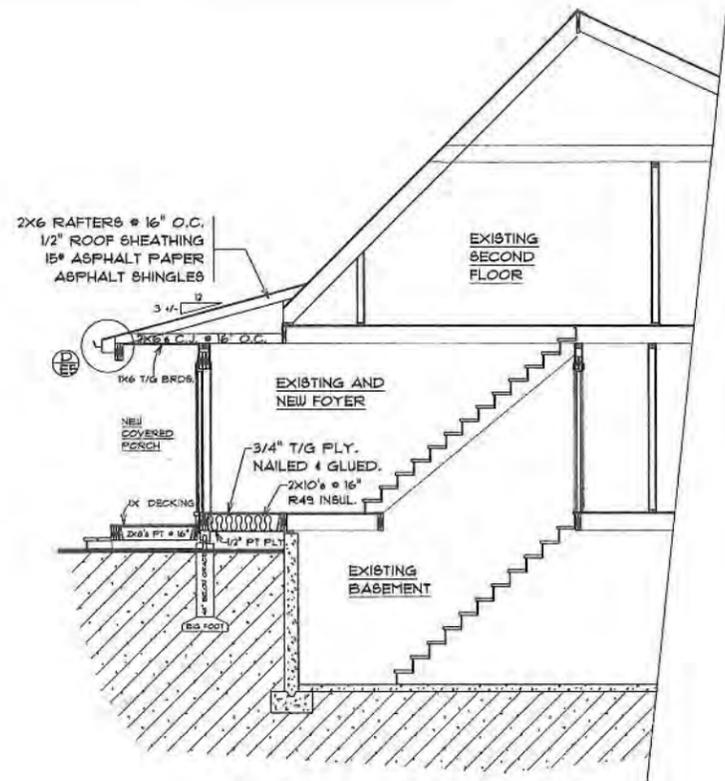
FOOTING DETAILS
10" CONCRETE WALL



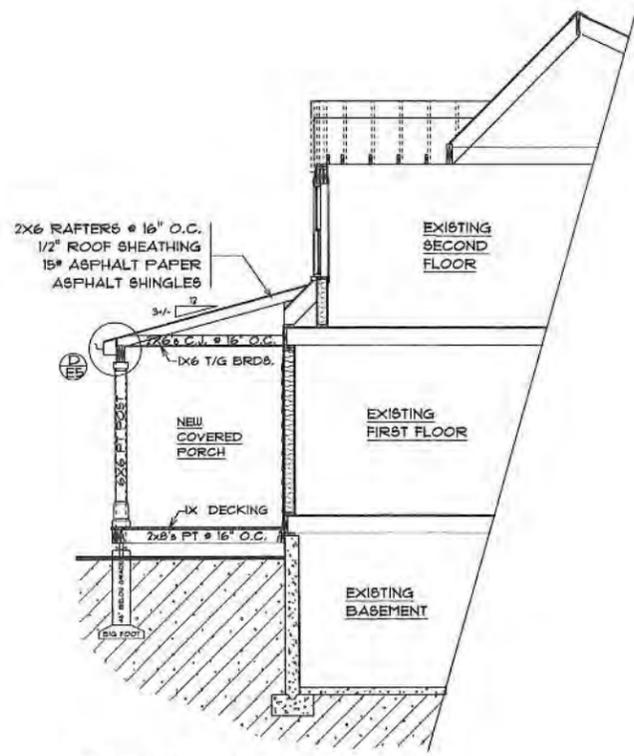
PROPOSED FOUNDATION PLAN



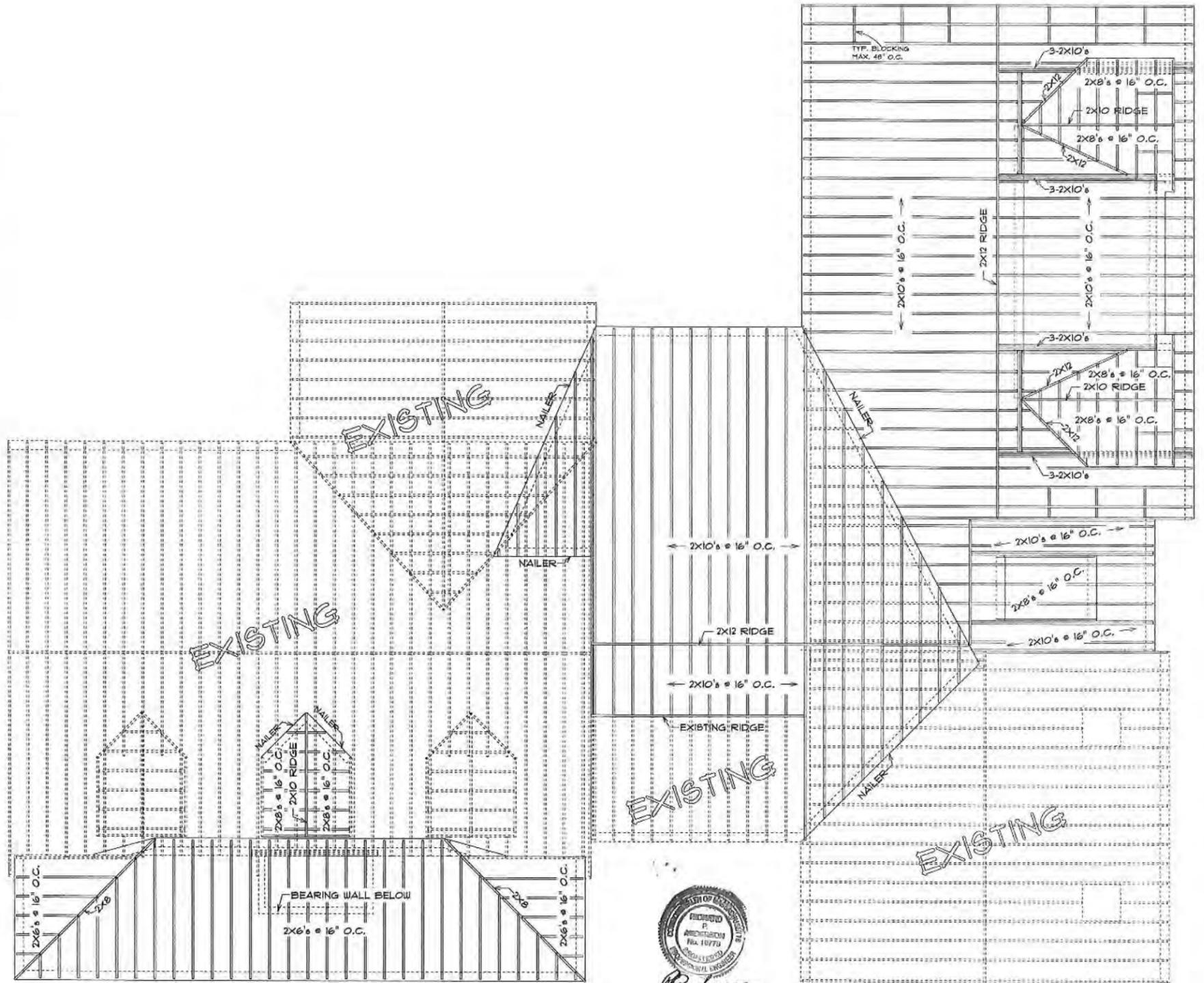
| | | | | | | | | | |
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| BUILDER BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02675 | JOB ADDRESS BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02675 | DESIGN ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE. | WWW.JBHOMEDESIGNS.COM | DATE 12-3-19 | REVISION # | DRAWN BY JJB | PAGE 5 OF 10 | SCALE 1/4"=1'-0" | JB Designs RICHARD P. ANDERSON REG. PROFESSIONAL ENGINEER NO. 10770 STATE OF MASSACHUSETTS 12/14/19 P.O. BOX 383 WEST BARNSTABLE MA 02668 (508) 494-9534 |
|---|---|--|--|------------------------|----------------------|------------------------|------------------------|----------------------------|---|



CROSS SECTION (B)



CROSS SECTION (A)



12/14/19
ROOF FRAMING PLAN

BUILDER

JOB ADDRESS

BRAGA RESIDENCE
344 OAKMOUNT ROAD
CUMMAQUOID, MA. 02675

DESIGN

ADD COVERED PORCH
THREE CAR GARAGE WITH
LIVING SPACE ABOVE.

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DATE
12-3-19

REVISION
#

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JB

PAGE
1 OF 10

SCALE
1/4"=1'-0"

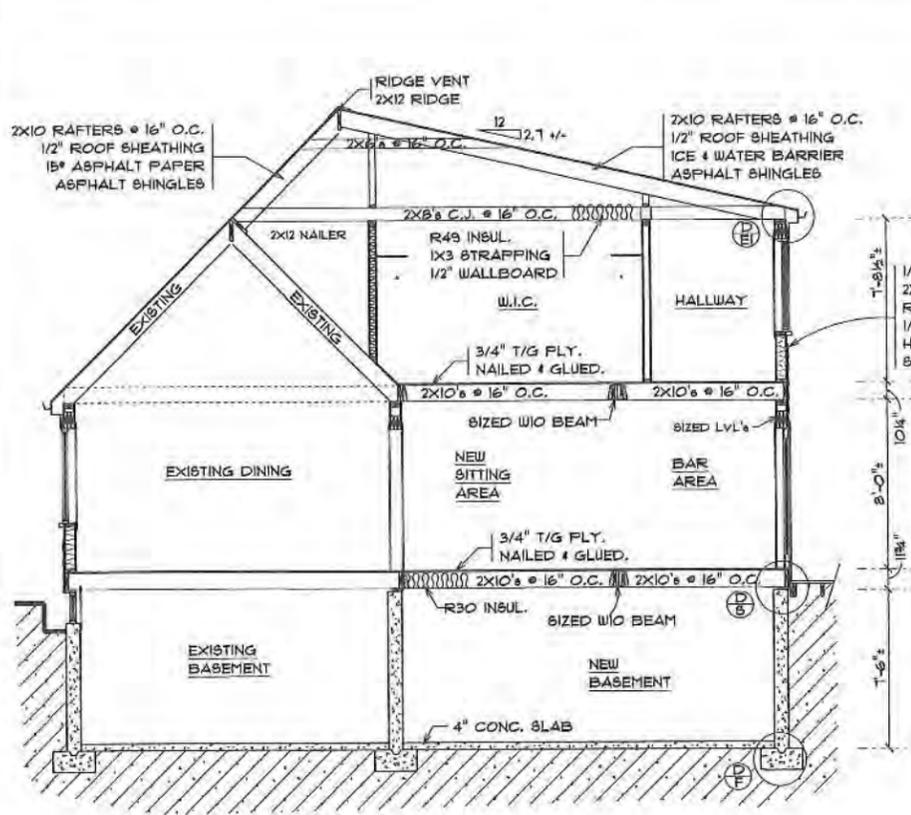
NOTE (1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.

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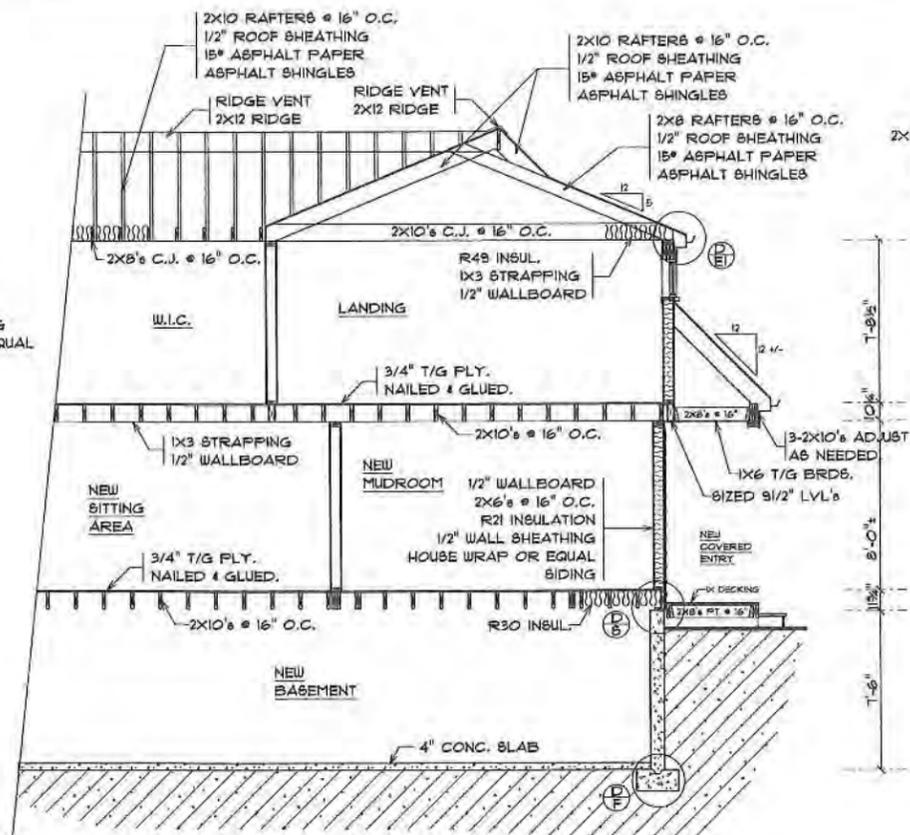
(3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.

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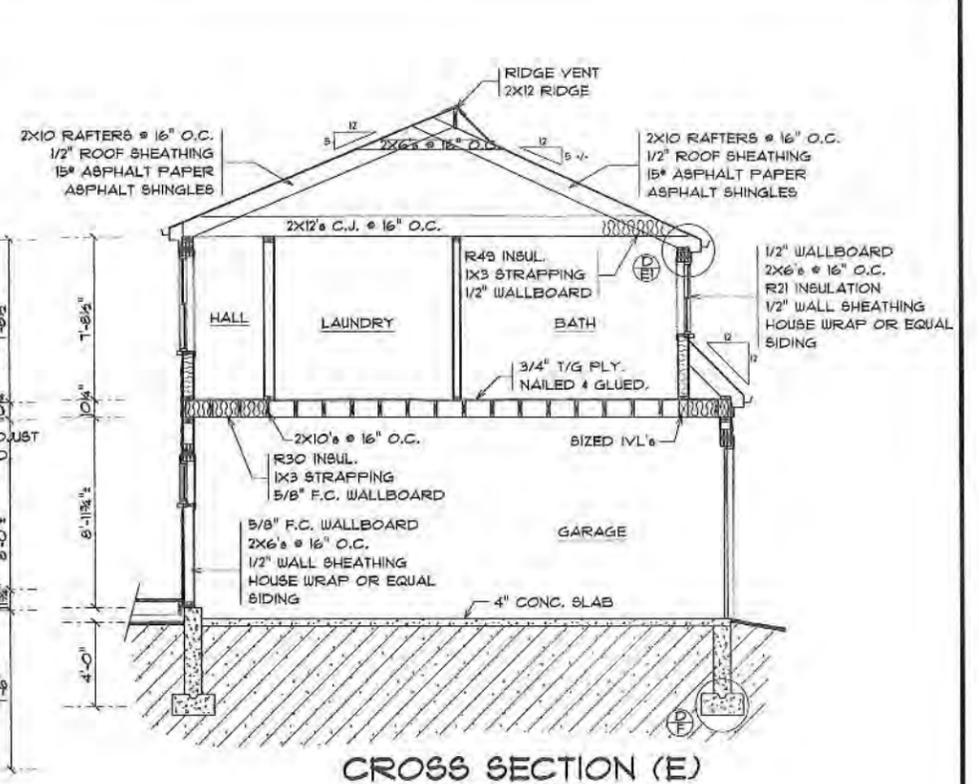
FLG 202X 325
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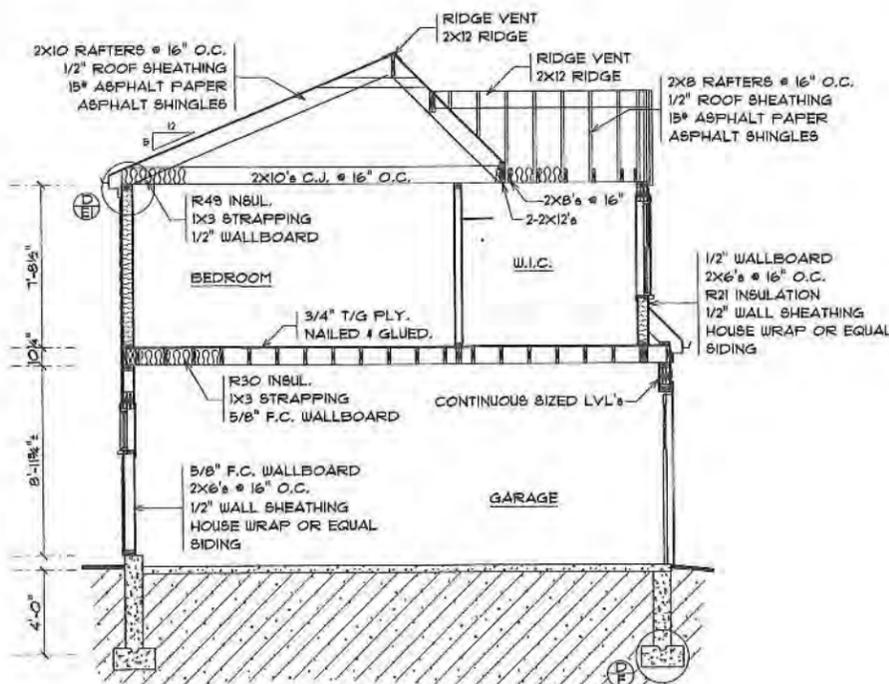
CROSS SECTION (C)



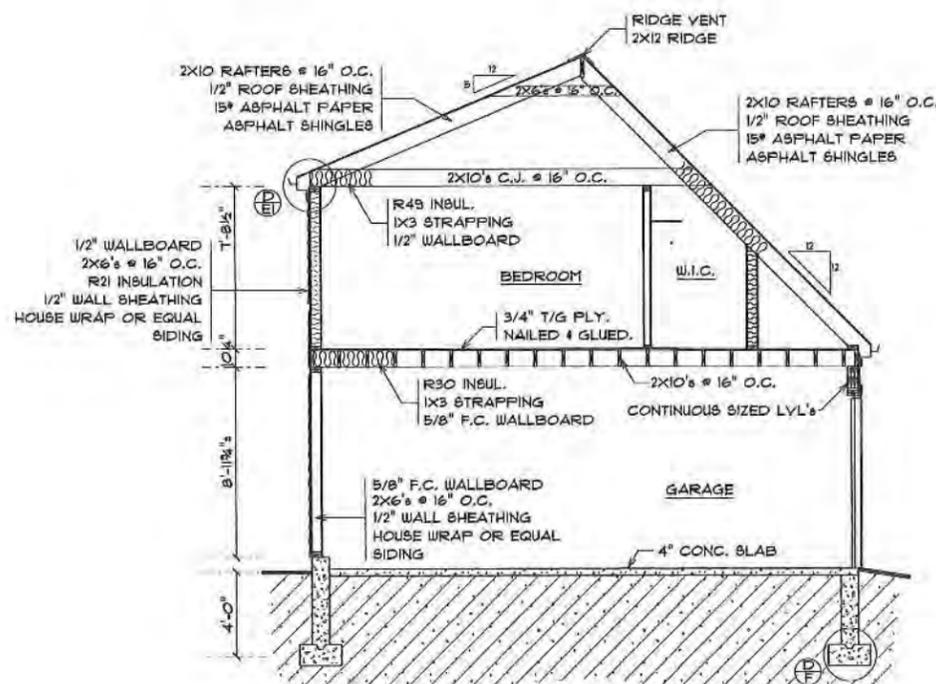
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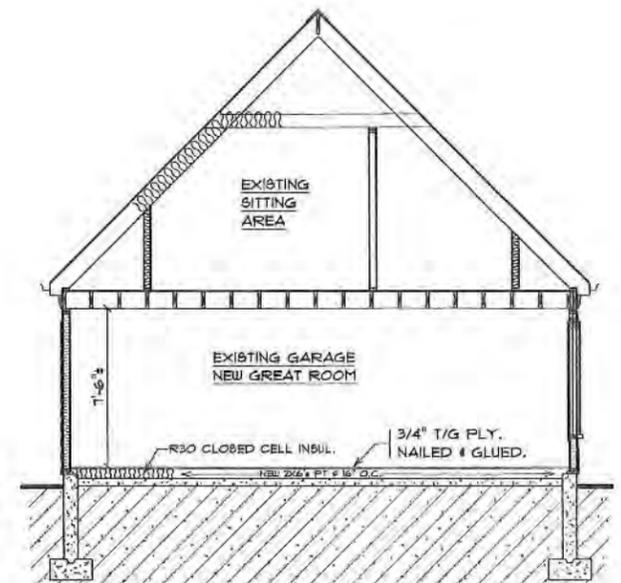
CROSS SECTION (E)



CROSS SECTION (F)



CROSS SECTION (G)



CROSS SECTION (H)



BUILDER

JOB ADDRESS

DESIGN

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SCALE

BRAGA RESIDENCE
344 OAKMOUNT ROAD
CUMMAQUOID, MA. 02615

ADD COVERED PORCH
THREE CAR GARAGE WITH
LIVING SPACE ABOVE.

12-3-19

#

JB

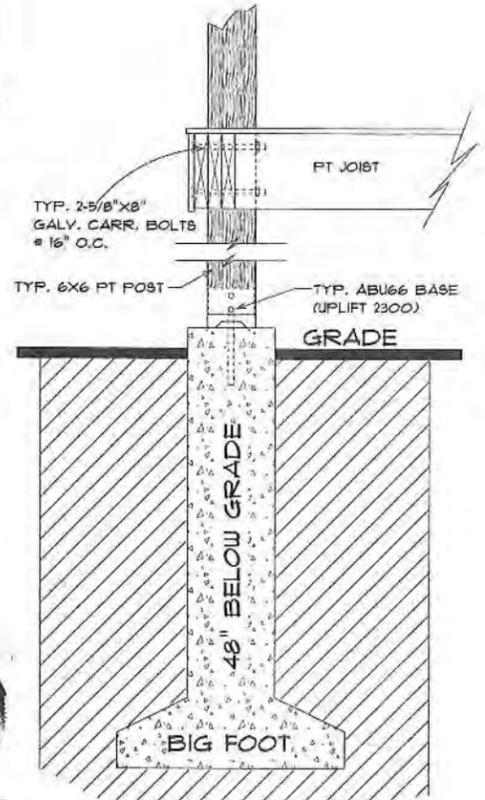
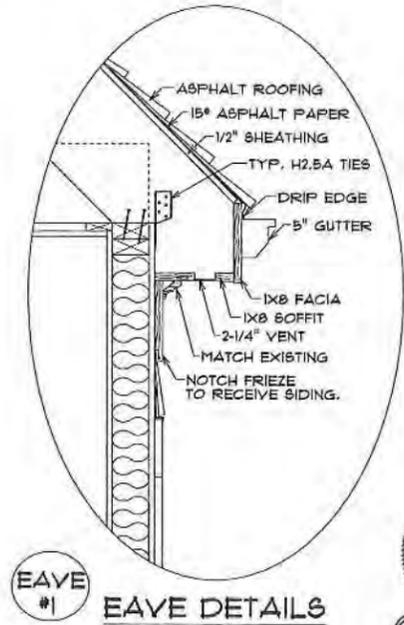
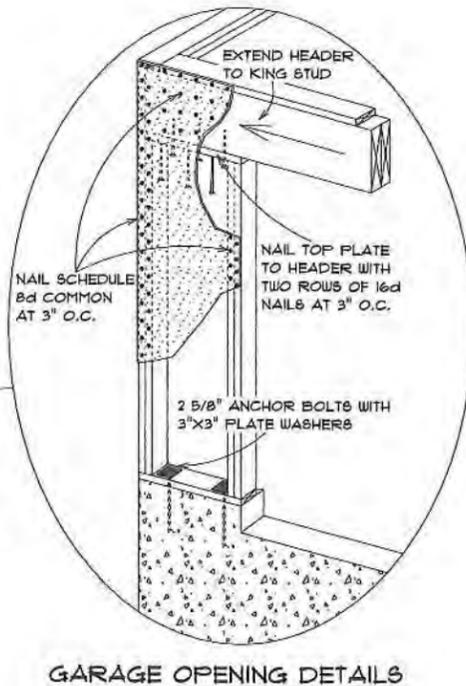
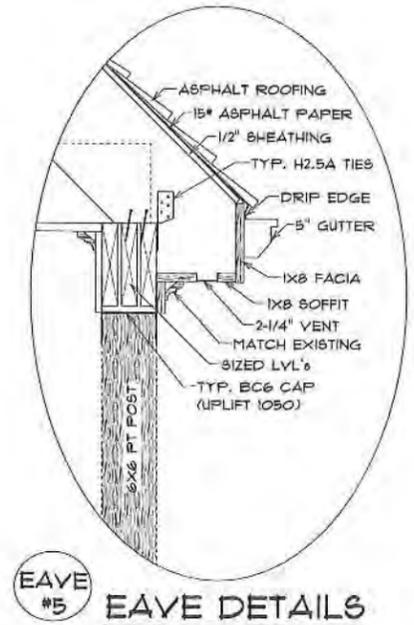
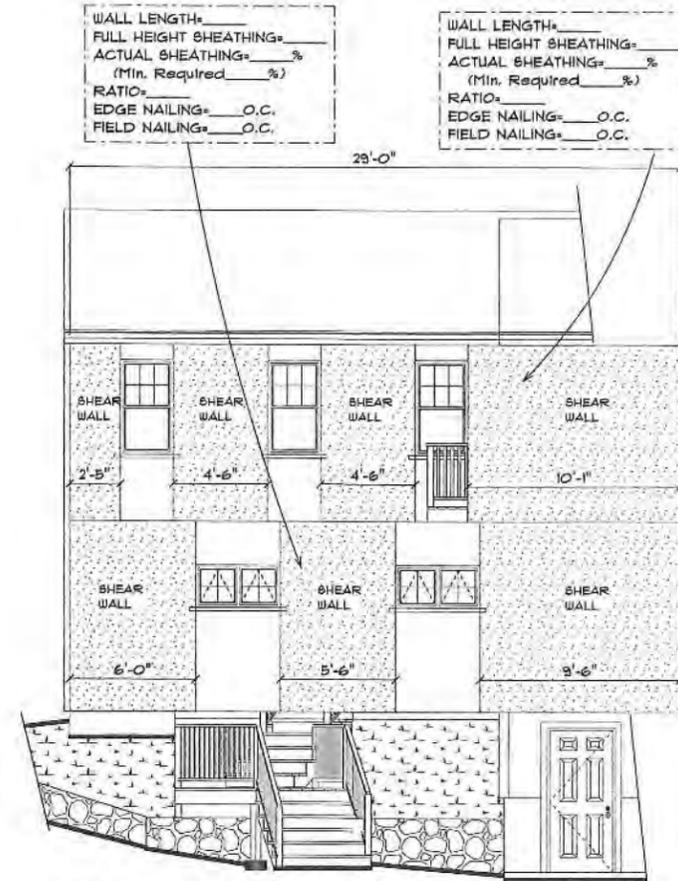
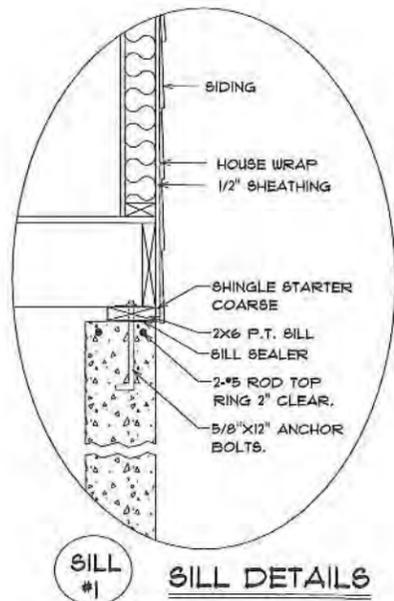
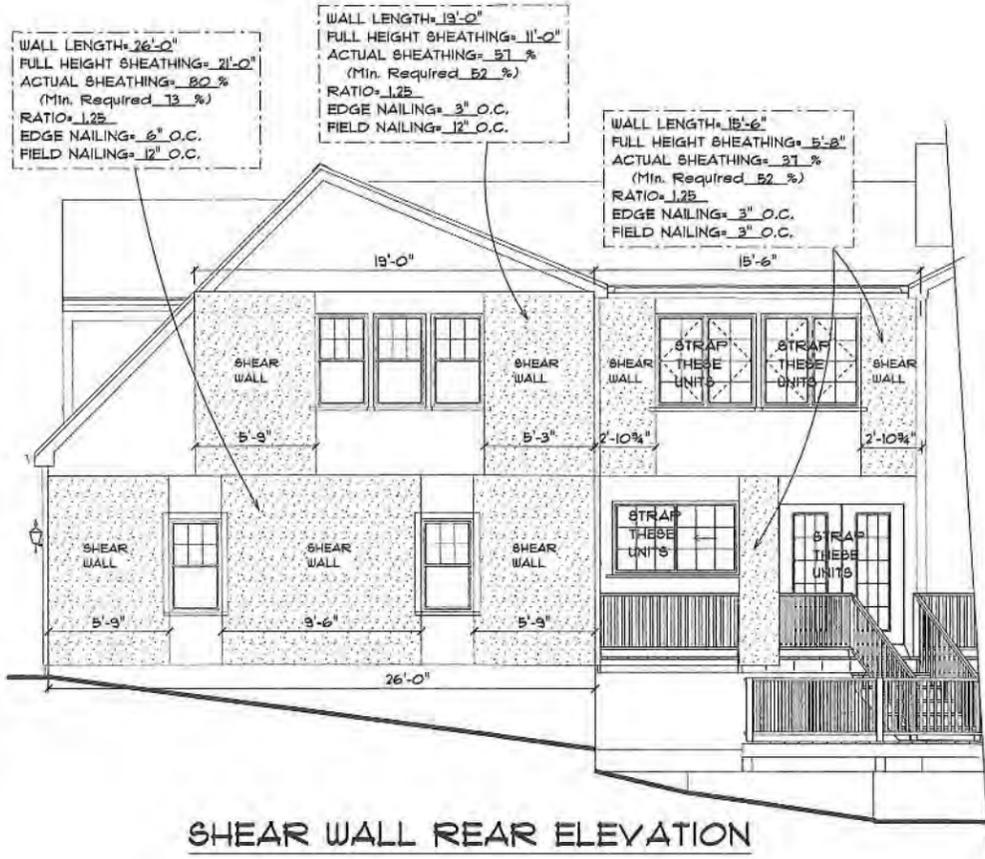
8 OF 10

1/4"=1'-0"

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|---------|----------|----------|---------|------------|
| 12-3-19 | # | JB | 9 OF 10 | 1/4"=1'-0" |

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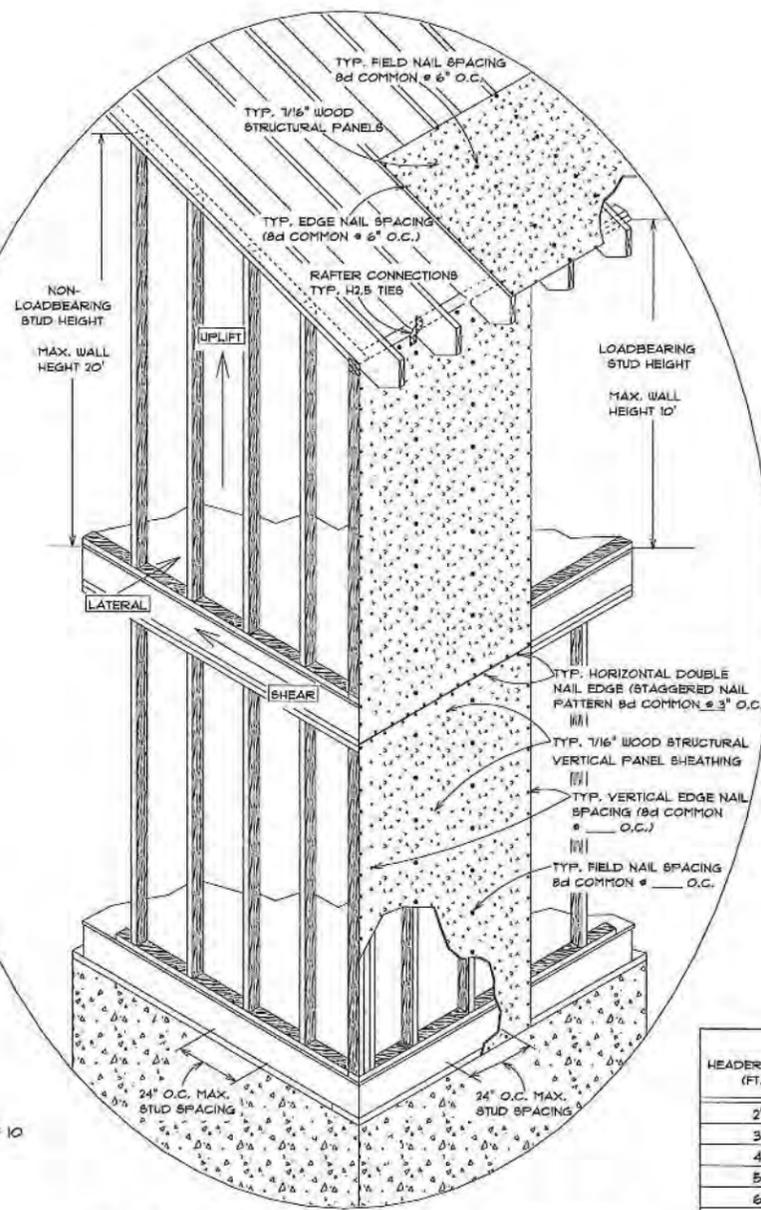
| BUILDER | JOB ADDRESS | DESIGN |
|---------|--|---|
| | BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUID, MA. 02615 | ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE. |

AIRC GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS 110 MPH WIND ZONE MASSACHUSETTS CHECKLIST FOR COMPLIANCE (180 CMR 5301.2.1.1)¹

✓ CHECK COMPLIANCE

| | | | | |
|---|--|--|-------------------------------|---|
| 1.1 SCOPE | | WIND SPEED (3-SEC. GUST)..... | 110 MPH | ✓ |
| | | WIND EXPOSURE CATEGORY..... | B | ✓ |
| 1.2 APPLICABILITY | | | | |
| | | NUMBER OF STORIES (A ROOF WHICH EXCEEDS 8 IN 12 SLOPE SHALL BE CONSIDERED A STORY) | 2 STORIES < 2 STORIES | ✓ |
| | | ROOF PITCH..... (FIG 2) | 12/12 < 12/12 | ✓ |
| | | MEAN ROOF HEIGHT..... (FIG 2) | 23 FT < 33' | ✓ |
| | | BUILDING WIDTH, W..... (FIG 3) | 42 FT < 80' | ✓ |
| | | BUILDING LENGTH, L..... (FIG 3) | 45 FT < 80' | ✓ |
| | | BUILDING ASPECT RATIO (L/W)..... (FIG 4) | 1.25 < 3.1 | ✓ |
| | | NOMINAL HEIGHT OF TALLEST OPENING..... (FIG 4) | 6'-8" < 6' 8" | ✓ |
| 1.3 FRAMING CONNECTIONS | | | | |
| | | GENERAL COMPLIANCE WITH FRAMING CONNECTIONS..... (TABLE 7) | | ✓ |
| 2.1 FOUNDATION | | | | |
| | | FOUNDATION WALLS MEETING REQUIREMENTS OF 180 CMR 5404.1 | | ✓ |
| | | CONCRETE..... | | ✓ |
| | | CONCRETE MASONRY..... | | ✓ |
| 2.2 ANCHORAGE TO FOUNDATION¹³ | | | | |
| | | 5/8" ANCHOR BOLTS IMBEDDED OR 5/8" PROPRIETARY MECHANICAL ANCHORS AS AN ALTERNATIVE IN CONCRETE ONLY | | ✓ |
| | | BOLT SPACING-GENERAL..... (TABLE 4) | 24 IN | ✓ |
| | | BOLT SPACING FROM END/JOINT OF PLATE..... (FIG 5) | 6-12" IN (< 6'-12") | ✓ |
| | | BOLT EMBEDMENT-CONCRETE..... (FIG 5) | 1" IN > 1" | ✓ |
| | | BOLT EMBEDMENT-MASONRY..... (FIG 5) | 0 IN > 15" | ✓ |
| | | PLATE WASHER..... (FIG 5) | 3"X3"X1/4" | ✓ |
| 3.1 FLOORS | | | | |
| | | FLOOR FRAMING MEMBER SPANS CHECKED..... (PER 180 CMR 55.00) | | ✓ |
| | | MAXIMUM FLOOR OPENING DIMENSION..... (FIG 6) | 9 FT < 12' | ✓ |
| | | FULL HEIGHT WALL STUDS AT FLOOR OPENINGS LESS 2' FROM EXTERIOR WALL (FIG 6) | | ✓ |
| | | MAXIMUM FLOOR JOIST SETBACKS | | ✓ |
| | | SUPPORTING LOADBEARING WALLS OR SHEARWALL..... (FIG 7) | 0 FT < d | ✓ |
| | | MAXIMUM CANTILEVERED FLOOR JOIST | | ✓ |
| | | SUPPORTING LOADBEARING WALLS OR SHEARWALL..... (FIG 8) | 1.5 FT < d | ✓ |
| | | FLOOR BRACING AT ENDWALLS..... (FIG 9) | | ✓ |
| | | FLOOR SHEATHING TYPE..... (PER 180 CMR 55.00) | | ✓ |
| | | FLOOR SHEATHING THICKNESS..... (PER 180 CMR 55.00) | 3/4" IN | ✓ |
| | | FLOOR SHEATHING FASTENING..... (TABLE 2) B, d NAILS AT 6" IN EDGE / 12" IN FIELD | | ✓ |
| 4.1 WALLS | | | | |
| | | WALL HEIGHT | | ✓ |
| | | LOADBEARING WALLS..... (FIG 10 AND TABLE 5) | 8 FT < 10' | ✓ |
| | | NON-LOADBEARING WALLS..... (FIG 10 AND TABLE 5) | 8 FT < 20' | ✓ |
| | | WALL STUD SPACING..... (FIG 10 AND TABLE 5) | 16 IN < 24" O.C. | ✓ |
| | | WALL STORY OFFSETS..... (FIG 11 & 12) | 1.5 FT < d | ✓ |
| 4.2 EXTERIOR WALLS³ | | | | |
| | | WALL STUDS | | ✓ |
| | | LOADBEARING WALLS..... (TABLE 5) | 2x 6 - 8 FT O.C. IN | ✓ |
| | | NON-LOADBEARING WALLS..... (TABLE 5) | 2x 6 - 8 FT O.C. IN | ✓ |
| | | GABLE END WALL BRACING | | ✓ |
| | | FULL HEIGHT ENDWALL STUDS..... (FIG 10) | | ✓ |
| | | WSP ATTIC FLOOR LENGTH..... (FIG 11) | 0 FT > W/3 | ✓ |
| | | GYPHUM CEILING LENGTH (IF WSP NOT USED)..... (FIG 11) | 0 FT > O.W/3 | ✓ |
| | | AND 2X4 CONTINUOUS LATERAL BRACE # 6 FT O.C. (FIG 11) | | ✓ |
| | | OR 1X3 CEILING FURRING STRIPS # 16" SPACING MIN. WITH 2X4 BLOCKING # 4 FT SPACING IN END | | ✓ |
| | | JOIST OR TRUSS BAYS | | ✓ |
| | | DOUBLE TOP PLATE | | ✓ |
| | | SPLICE LENGTH..... (FIG 13 AND TABLE 6) | 8 FT | ✓ |
| | | SPLICE CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 6) | 10 | ✓ |
| | | LOADBEARING WALL CONNECTIONS | | ✓ |
| | | LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 7) | 2 | ✓ |
| | | NON-LOADBEARING WALL CONNECTIONS | | ✓ |
| | | LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 8) | 2 | ✓ |
| | | LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9) | | ✓ |
| | | HEADER SPANS..... (TABLE 9) | 12 FT O.IN. < 11' | ✓ |
| | | SILL PLATE SPANS..... (TABLE 9) | 0 FT O.IN. < 11' | ✓ |
| | | FULL HEIGHT STUDS (NO. OF STUDS)..... (TABLE 9) | 4X4 PSL | ✓ |
| | | NON-LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9) | | ✓ |
| | | HEADER SPANS..... (TABLE 9) | 3 FT O.IN. < 12' | ✓ |
| | | SILL PLATE SPANS..... (TABLE 9) | 3 FT O.IN. < 12' | ✓ |
| | | FULL HEIGHT STUDS (NO. OF STUDS)..... (TABLE 9) | 2 | ✓ |
| | | EXTERIOR WALL SHEATHING TO RESIST UPLIFT AND SHEAR SIMULTANEOUSLY | | ✓ |
| | | MINIMUM BUILDING DIMENSION, (W) | | ✓ |
| | | NOMINAL HEIGHT OF TALLEST OPENING ² (NOTE 4) | 6'-8" < 6' 8" | ✓ |
| | | SHEATHING TYPE..... (TABLE 10 OR NOTE 4 IF LESS) | 1/2 IN | ✓ |
| | | EDGE NAIL SPACING..... (TABLE 10) | IN | ✓ |
| | | FIELD NAIL SPACING..... (TABLE 10) | IN | ✓ |
| | | SHEAR CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 10) | IN | ✓ |
| | | PERCENT FULL-HEIGHT SHEATHING..... (TABLE 10) | % | ✓ |
| | | 5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6' 8" (DESIGN CONCEPTS) | | ✓ |
| | | MAXIMUM BUILDING DIMENSION, (L) | | ✓ |
| | | NOMINAL HEIGHT OF TALLEST OPENING ² (NOTE 4) | 4'-9" < 6' 8" | ✓ |
| | | SHEATHING TYPE..... (TABLE 11 OR NOTE 4 IF LESS) | 1/2 IN | ✓ |
| | | EDGE NAIL SPACING..... (TABLE 11 OR NOTE 4 IF LESS) | IN | ✓ |
| | | FIELD NAIL SPACING..... (TABLE 11) | IN | ✓ |
| | | SHEAR CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 11) | IN | ✓ |
| | | PERCENT FULL-HEIGHT SHEATHING..... (TABLE 11) | % | ✓ |
| | | 5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6' 8" (DESIGN CONCEPTS) | | ✓ |
| | | WALL CLADDING | | ✓ |
| | | RATED FOR WIND SPEED..... | | ✓ |
| 5.1 ROOFS | | | | |
| | | ROOF FRAMING MEMBER SPANS CHECKED ¹ (FOR RAFTERS USE AWC SPAN TOOL, SEE BBR6 WEBSITE) | | ✓ |
| | | ROOF OVERHANG..... (FIGURE 13) | 1.5 FT < SMALLER OF 2' OR L/3 | ✓ |
| | | TRUSS OR RAFTER CONNECTIONS AT LOADBEARING WALLS | | ✓ |
| | | PROPRIETARY CONNECTORS | | ✓ |
| | | UPLIFT..... (TABLE 12) | U-303 PLF | ✓ |
| | | LATERAL..... (TABLE 12) | L-116 PLF | ✓ |
| | | SHEAR..... (TABLE 12) | S-11 PLF | ✓ |
| | | RIDGE STRAP CONNECTIONS, IF COLLAR TIES NOT USED PER (TABLE 13) | T-221 PLF | ✓ |
| | | GABLE RAKE OUTLOOKER..... (FIGURE 20) | 0 FT < SMALLER OF 2' OR L/2 | ✓ |
| | | TRUSS OR RAFTER CONNECTIONS AT NON-LOADBEARING WALLS | | ✓ |
| | | PROPRIETARY CONNECTORS | | ✓ |
| | | UPLIFT..... (TABLE 14) | U-411 LB | ✓ |
| | | LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 14) | L-148 LB | ✓ |
| | | ROOF SHEATHING TYPE..... (PER 180 CMR 55.00 AND 55.00) | | ✓ |
| | | ROOF SHEATHING THICKNESS..... (TABLE 2) | 1/2 IN > 1/8" WSP | ✓ |
| | | ROOF SHEATHING FASTENING..... (TABLE 2) | | ✓ |

110 MPH EXPOSURE B WIND ZONE



SEE PAGE 9 OF 10
SEE PAGE 9 OF 10

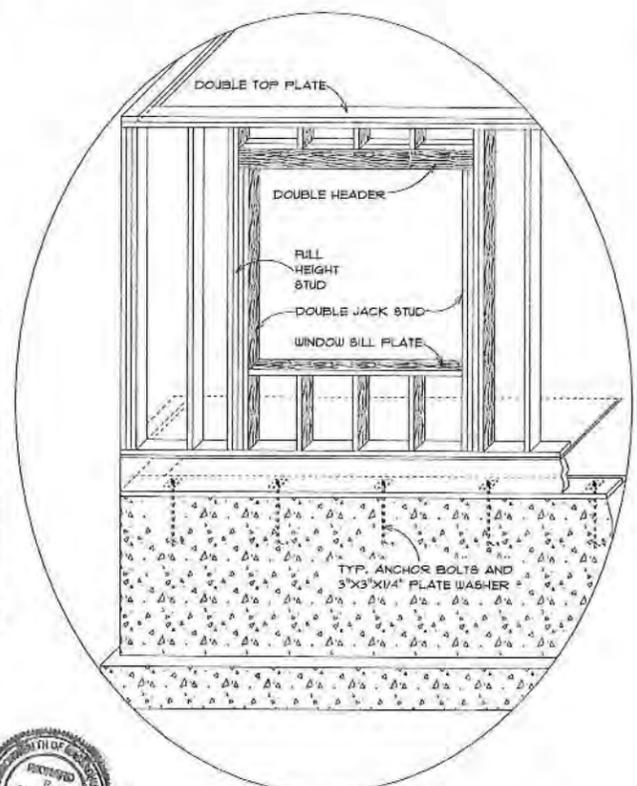
MAXIMUM WALL STUD HEIGHT, STUD SPACING, RAFTER CONNECTION AND WALL SHEATHING

| JOINT DESCRIPTION | NUMBER OF COMMON NAILS | NUMBER OF BOX NAILS | NAIL SPACING |
|--|------------------------|---------------------|----------------------|
| ROOF FRAMING | | | |
| BLOCKING TO RAFTERS (TOE-NAILED) | 2-8d | 2-10d | EACH END |
| RIM BOARD TO RAFTER (END-NAILED) | 2-16d | 3-16d | EACH END |
| WALL FRAMING | | | |
| TOP PLATE AT INTERSECTIONS (FACE-NAILED) | 4-16d | 5-16d | AT JOINTS |
| STUD TO STUD (FACE-NAILED) | 2-16d | 2-16d | 24" O.C. |
| HEADER TO HEADER (FACE-NAILED) | 16d | 16d | 16" O.C. ALONG EDGES |
| FLOOR FRAMING | | | |
| JOIST TO BILL, TOP PLATE OR GIRDER (TOE-NAILED) | 4-8d | 4-10d | PER JOIST |
| BLOCKING TO JOIST (TOE-NAILED) | 2-8d | 2-10d | EACH END |
| BLOCKING TO BILL OR TOP PLATE (TOE-NAILED) | 3-16d | 4-16d | EACH JOIST |
| LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED) | 3-16d | 3-10d | PER JOIST |
| JOIST ON LEDGER TO BEAM (TOE-NAILED) | 3-8d | 3-10d | PER JOIST |
| BAND JOIST TO JOIST (END-NAILED) | 3-16d | 4-16d | PER JOIST |
| BAND JOIST TO BILL OR TOP PLATE (TOE-NAILED) | 2-16d | 3-16d | PER JOIST |
| ROOF SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| RAFTERS OR TRUSSES SPACED UP TO 16" O.C. | 8d | 10d | 6" EDGE / 6" FIELD |
| RAFTERS OR TRUSSES SPACED OVER 16" O.C. | 8d | 10d | 4" EDGE / 4" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS WITH NO GABLE OVERHANG | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/STRUCTURAL OUTLOOKERS | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUT BLOCKS | 8d | 10d | 4" EDGE / 4" FIELD |
| CEILING SHEATHING | | | |
| GYPHUM WALLBOARD | | | |
| | 5d COOLERS | - | 1" EDGE / 10" FIELD |
| WALL SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| STUDS SPACED UP TO 24" O.C. | 8d | 10d | 6" EDGE / 12" FIELD |
| 1/2" AND 5/8" FIBERBOARD PANELS | 8d | - | 3" EDGE / 6" FIELD |
| 1/2" GYPHUM WALLBOARD | 5d COOLERS | - | 1" EDGE / 10" FIELD |
| FLOOR SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| 1" OR LESS | 8d | 10d | 6" EDGE / 12" FIELD |
| GREATER THAN 1" | 10d | 10d | 6" EDGE / 6" FIELD |

GENERAL NAILING SCHEDULE

| HEADER SPAN (FT.) | MINIMUM HEADER SIZE | REQUIREMENTS AT EACH END OF HEADER | NUMBER OF FULL-HEIGHT STUDS | UPLIFT (LB.) | LATERAL (LB.) |
|-------------------|---------------------|------------------------------------|-----------------------------|--------------|---------------|
| 2' | 2-2X4 | 1 | 2T1 | 132 | 132 |
| 3' | 2-2X4 | 2 | 416 | 198 | 198 |
| 4' | 2-2X4 | 2 | 554 | 264 | 264 |
| 5' | 2-2X4 | 3 | 693 | 330 | 330 |
| 6' | 2-2X6 | 3 | 831 | 396 | 396 |
| 7' | 2-2X8 | 3 | 970 | 462 | 462 |
| 8' | 2-2X12 | 3 | 1,108 | 528 | 528 |
| 9' | 3-2X10 | 3 | 1,247 | 594 | 594 |
| 10' | 3-2X12 | 4 | 1,385 | 660 | 660 |
| 11' | 4-2X10 | 4 | 1,524 | 726 | 726 |

WALL OPENINGS - HEADERS IN LOADBEARING WALLS



STUDS AND HEADERS AROUND WALL OPENINGS

12/19/19

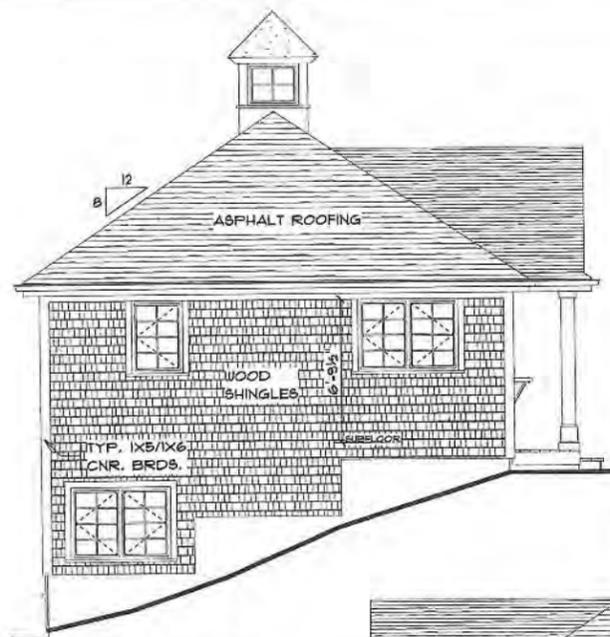
| | | |
|----------------|---|---|
| BUILDER | JOB ADDRESS | DESIGN |
| | BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02675 | ADD COVERED PORCH THREE CAR GARAGE WITH LIVING SPACE ABOVE. |

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| | | | | |
|-------------|-----------------|-----------------|-------------|--------------|
| DATE | REVISION | DRAWN BY | PAGE | SCALE |
| 12-3-19 | # | JB | 10 OF 10 | 1/4"=1'-0" |

JB Designs

(1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION. (2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOI. CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER. (3) ALL FOOTINGS SHALL EXTEND BEYOND FROSTING VERIFY DEPTH WITH LOCAL ENGINEER AND BUILDING OFFICIALS. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.



LEFT ELEVATION



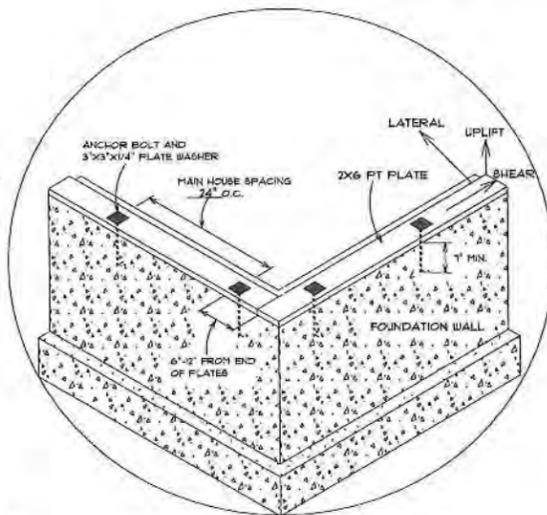
FRONT ELEVATION



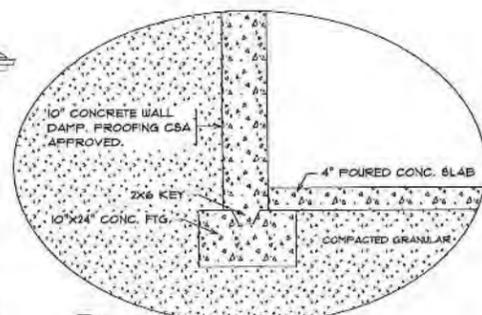
RIGHT ELEVATION



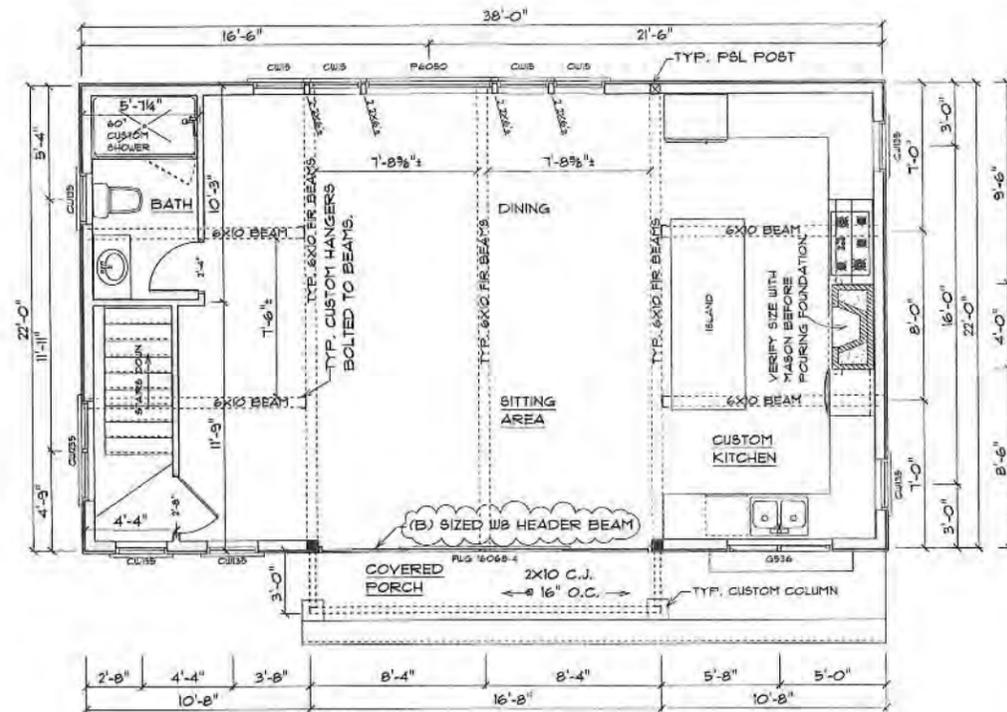
REAR ELEVATION



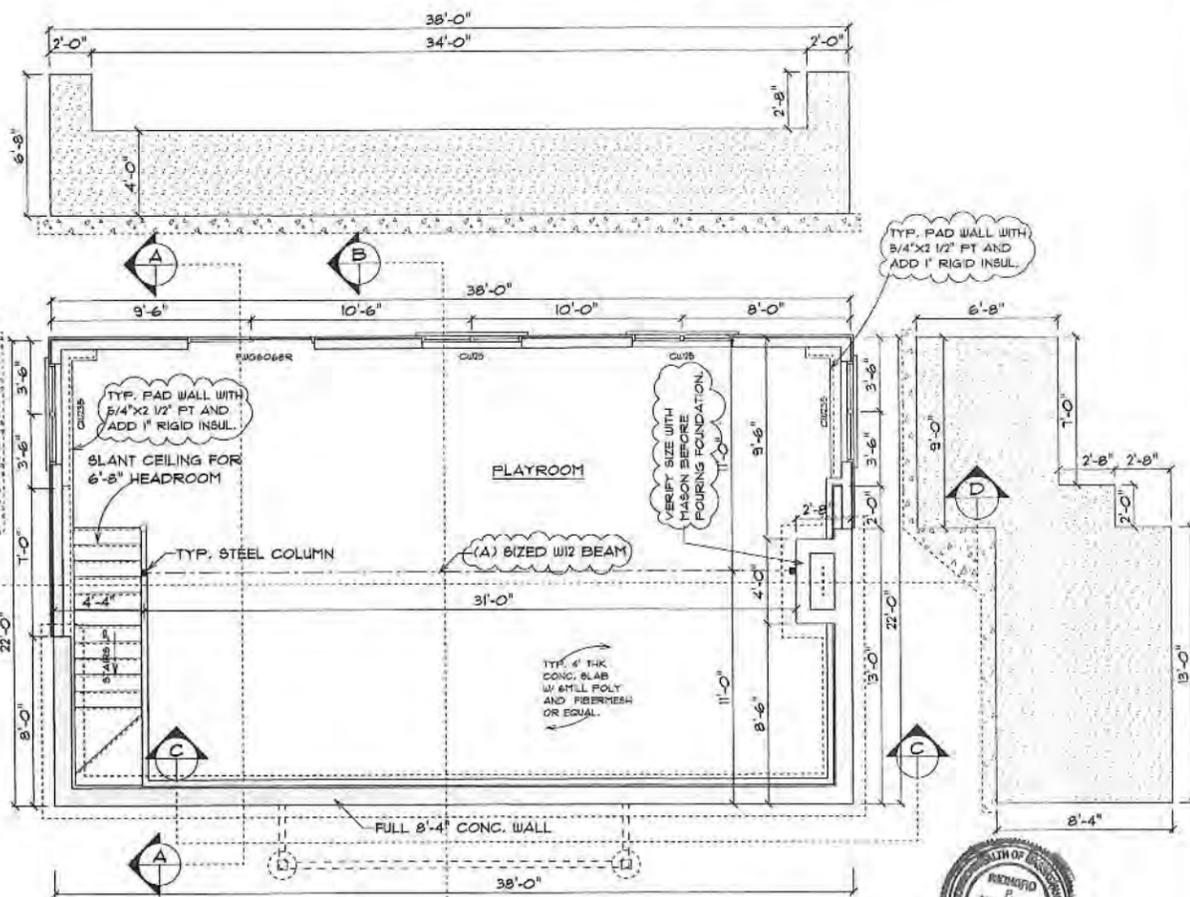
TYP. ANCHOR BOLT SPACING



FOOTING DETAILS
10" CONCRETE WALL



FLOOR PLAN

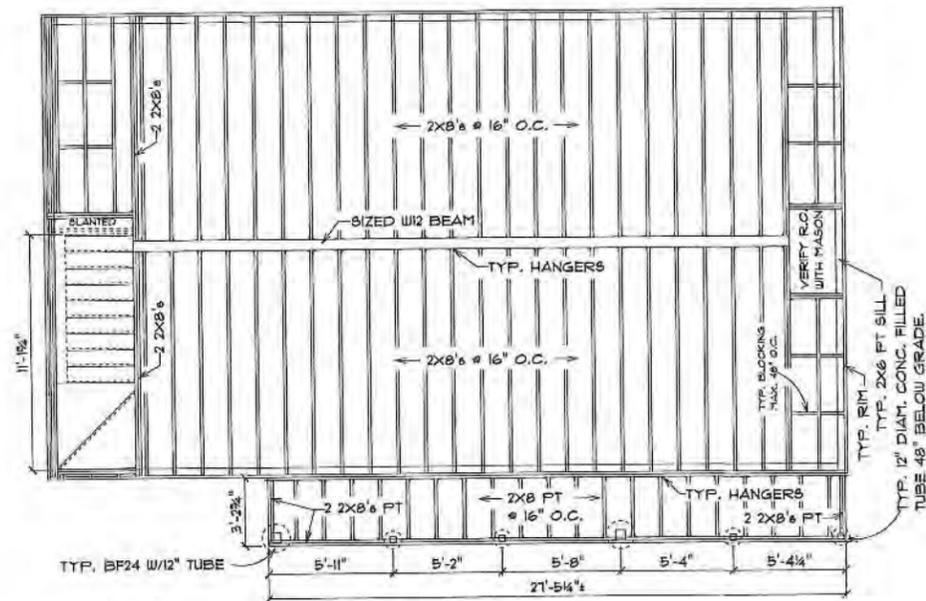


FOUNDATION PLAN

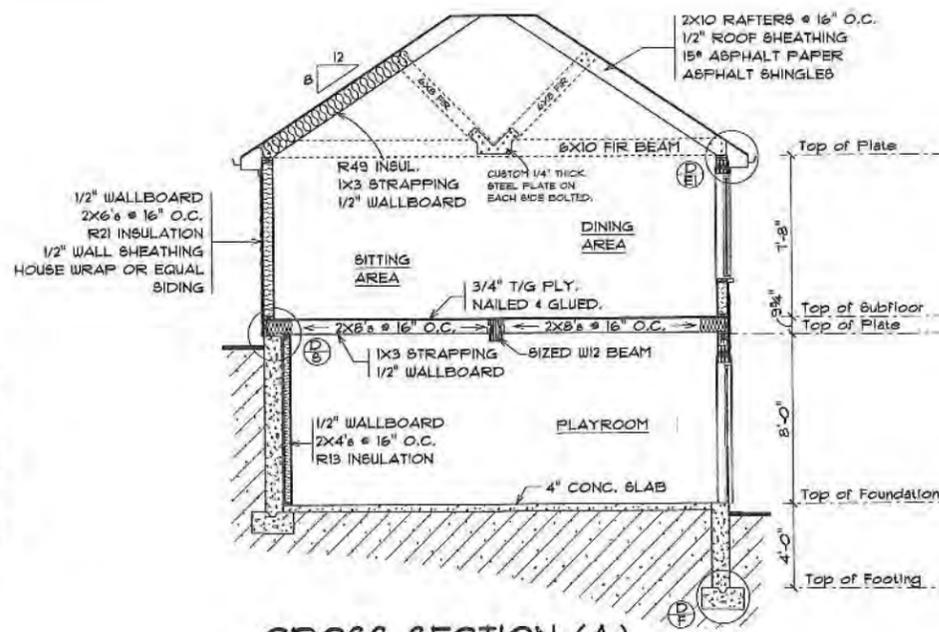


| | | | | | | | | | |
|-----------------------|---|---|---|--------------------------------|------------------------------|-------------------------------|-------------------------------|------------------------------------|--|
| <p>BUILDER</p> | <p>JOB ADDRESS BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02615</p> | <p>DESIGN PROPOSED POOL HOUSE WITH PLAYROOM BELOW.</p> | <p>WWW.JBHOMEDESIGNS.COM</p> | <p>DATE 12-7-19</p> | <p>REVISION #</p> | <p>DRAWN BY JB</p> | <p>PAGE 1 OF 4</p> | <p>SCALE 1/4"=1'-0"</p> | <p>JB Designs 12/17/19 P.O. BOX 288 WEST BARNSTABLE MA 02668 (508) 494-9534</p> |
|-----------------------|---|---|---|--------------------------------|------------------------------|-------------------------------|-------------------------------|------------------------------------|--|

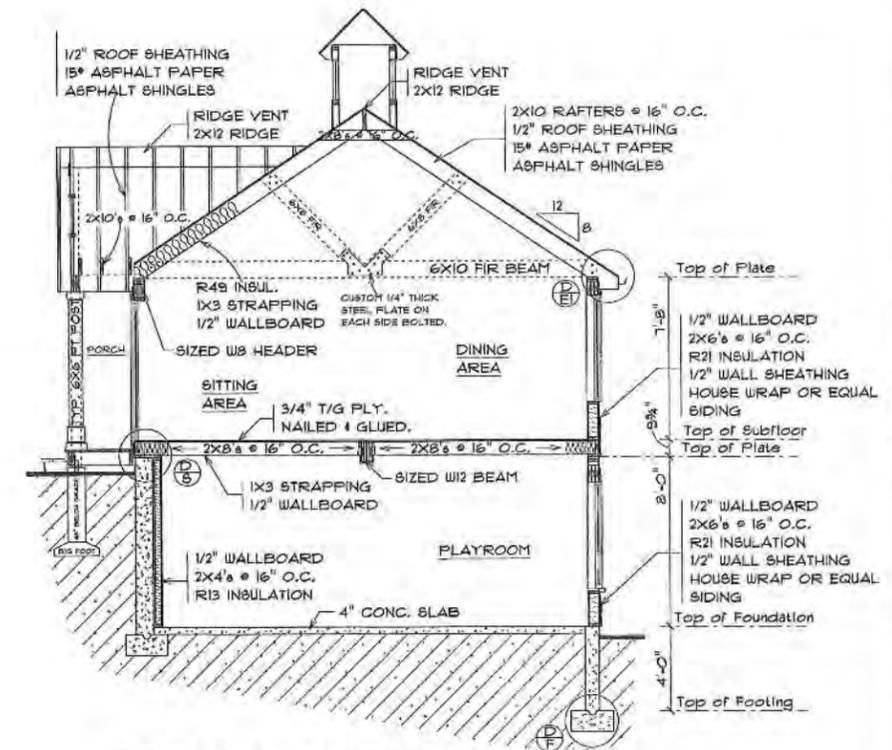
(1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION. (2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER. (3) ALL FOOTINGS SHALL EXTEND BELOW FRONTLINE VERIFY DEPTH. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.



FLOOR FRAMING PLAN

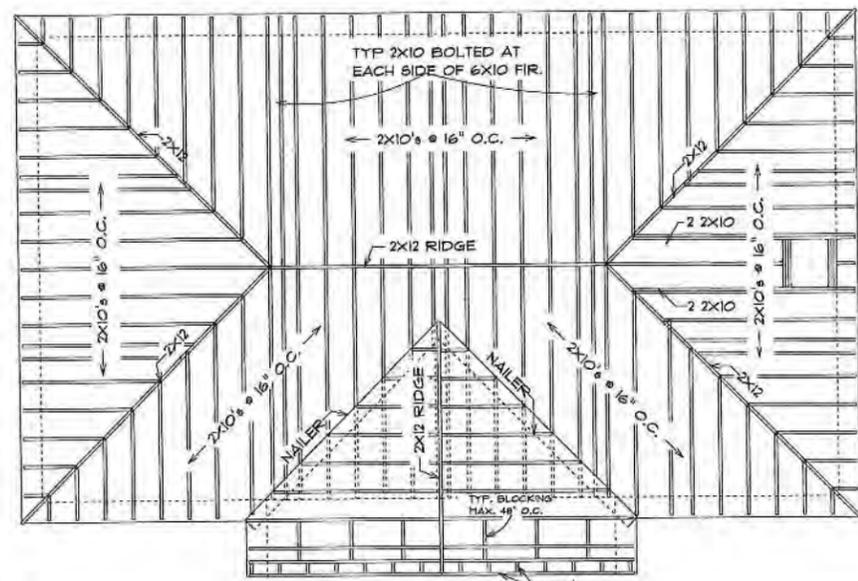


CROSS SECTION (A)

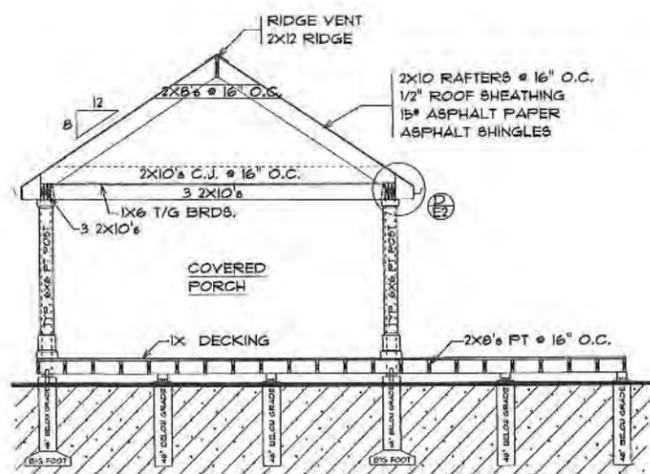


CROSS SECTION (B)

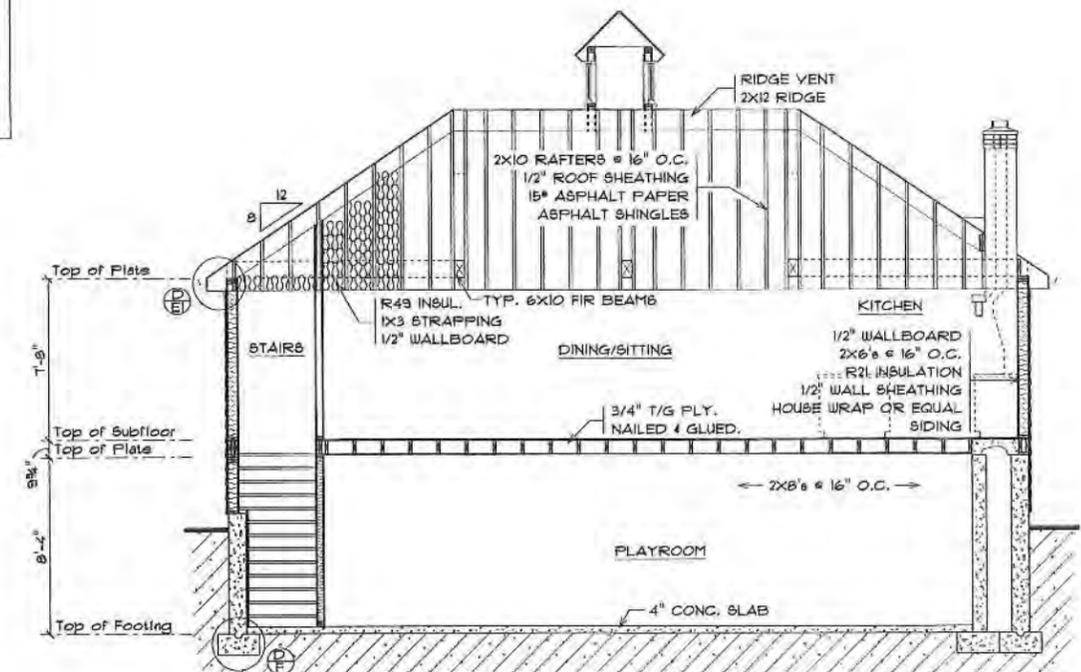
NOTE
 ENGINEER REPORT SPECIFICATIONS
 DATED 12/17/2019 PART OF THIS
 DESIGN, SHOWS CONNECTION AND DESIGN
 REQUIREMENTS.



ROOF FRAMING PLAN



CROSS SECTION (C)

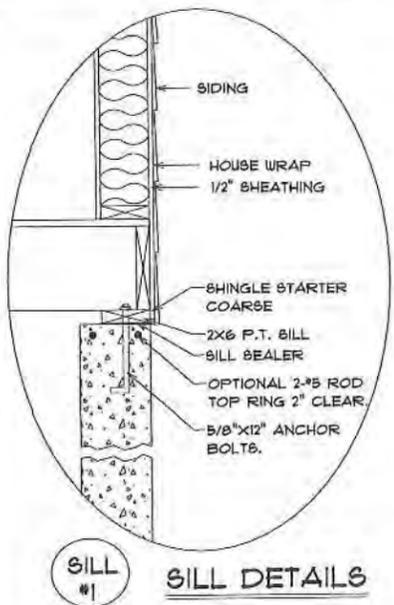


CROSS SECTION (D)

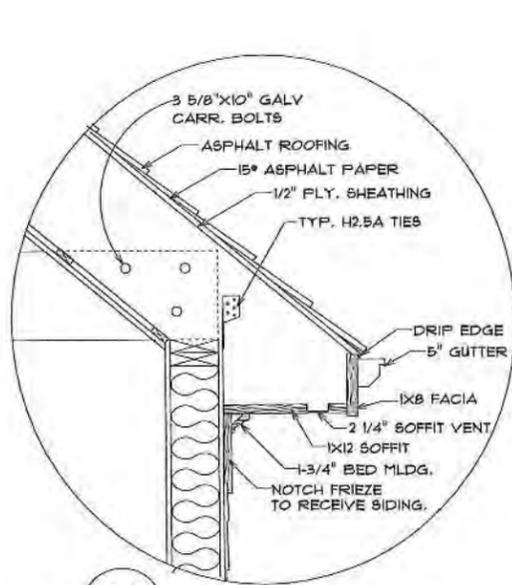


12/17/19

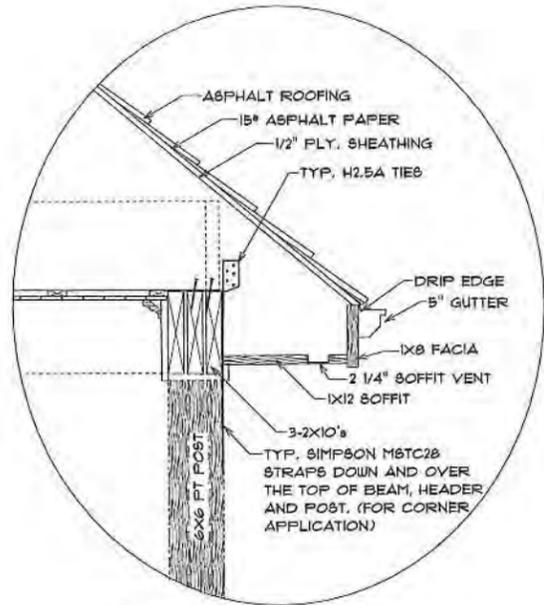
| | | | | | | | | |
|---------|---|---|--|---------|----------|---|--------|------------|
| BUILDER | JOB ADDRESS | DESIGN | WWW.JBHOMEDESIGNS.COM | DATE | REVISION | DRAWN BY | PAGE | SCALE |
| | BRAGA RESIDENCE 344 OAKMOUNT ROAD CUMMAQUOID, MA. 02615 | PROPOSED POOL HOUSE WITH PLAYROOM BELOW. | | 12-7-19 | # | JB | 2 OF 4 | 1/4"=1'-0" |
| NOTE | | | (1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION. (2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER. (3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS. | | | JB Designs P.O. BOX 283 1897 BARNSTABLE MA. 02668 (508) 494-9534 | | |



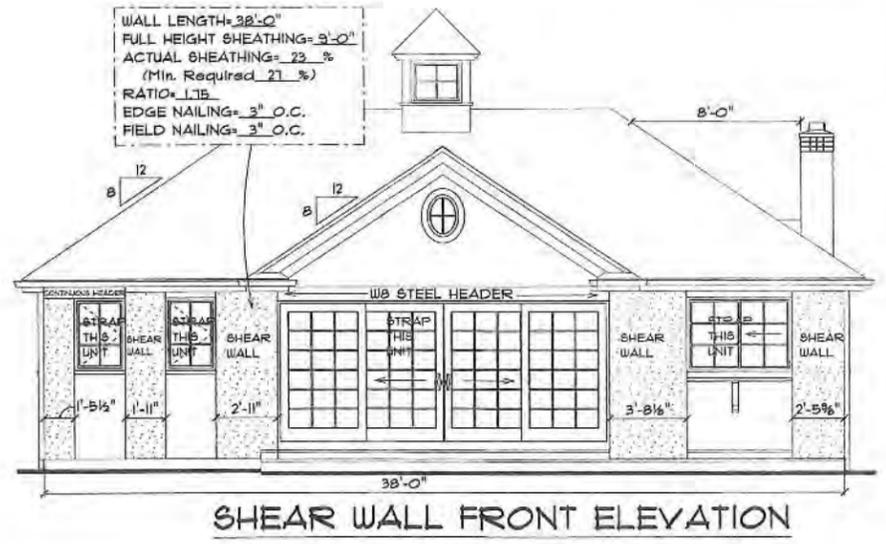
SILL #1 SILL DETAILS



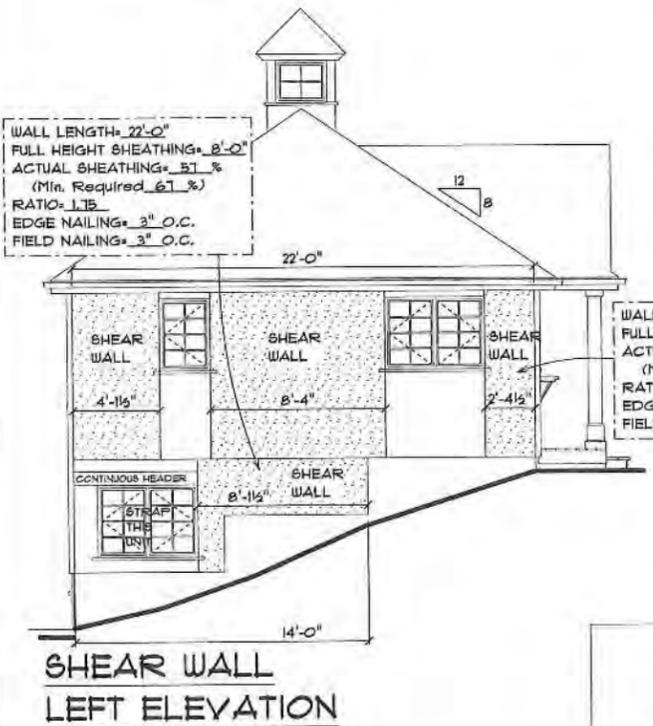
EAVE #1 EAVE DETAILS



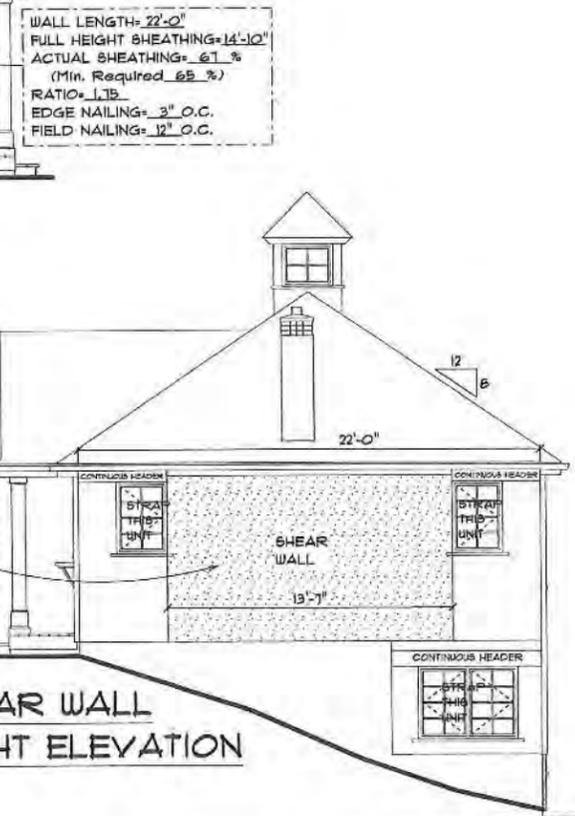
EAVE #2 EAVE DETAILS



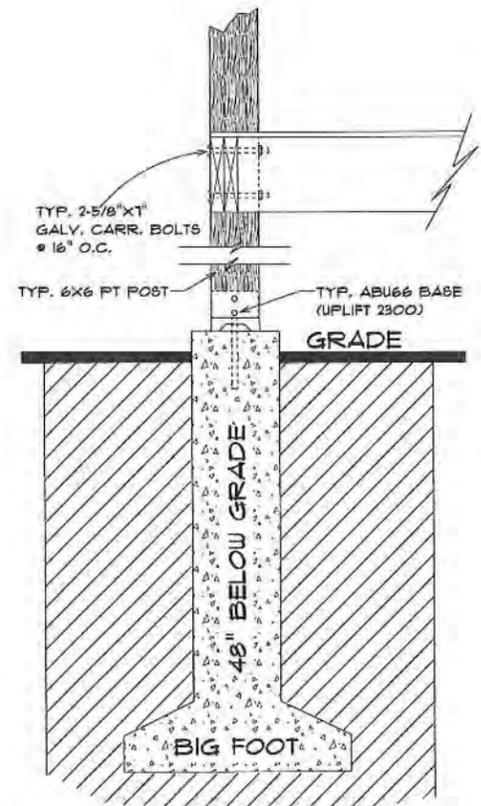
SHEAR WALL FRONT ELEVATION



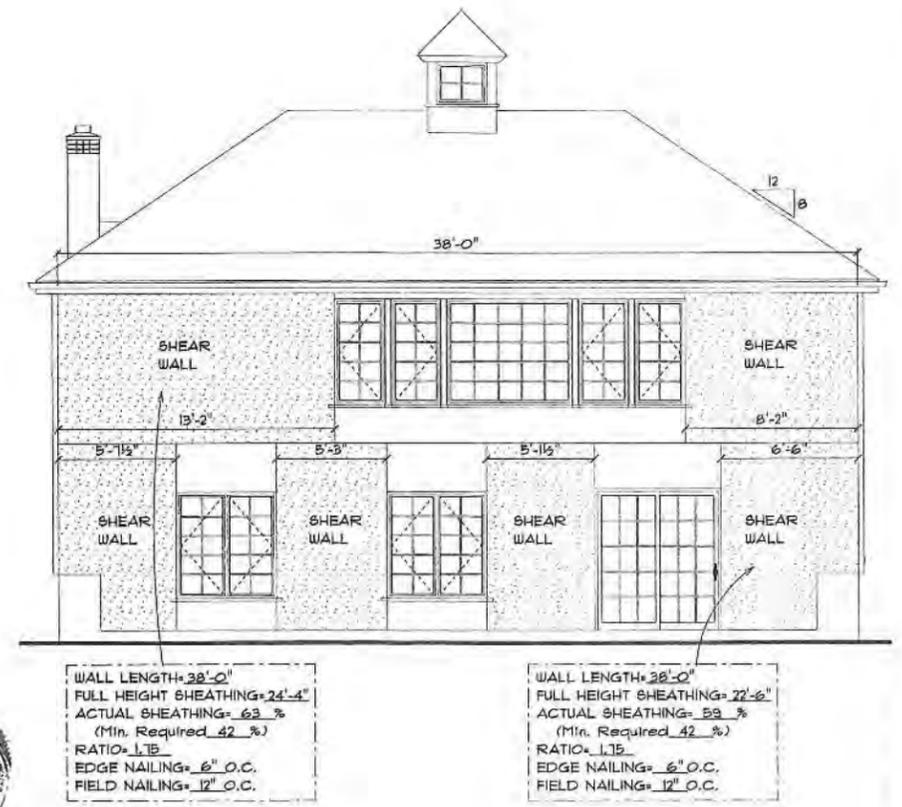
SHEAR WALL LEFT ELEVATION



SHEAR WALL RIGHT ELEVATION



BF24 WITH 12" TUBE DETAILS



SHEAR WALL REAR ELEVATION

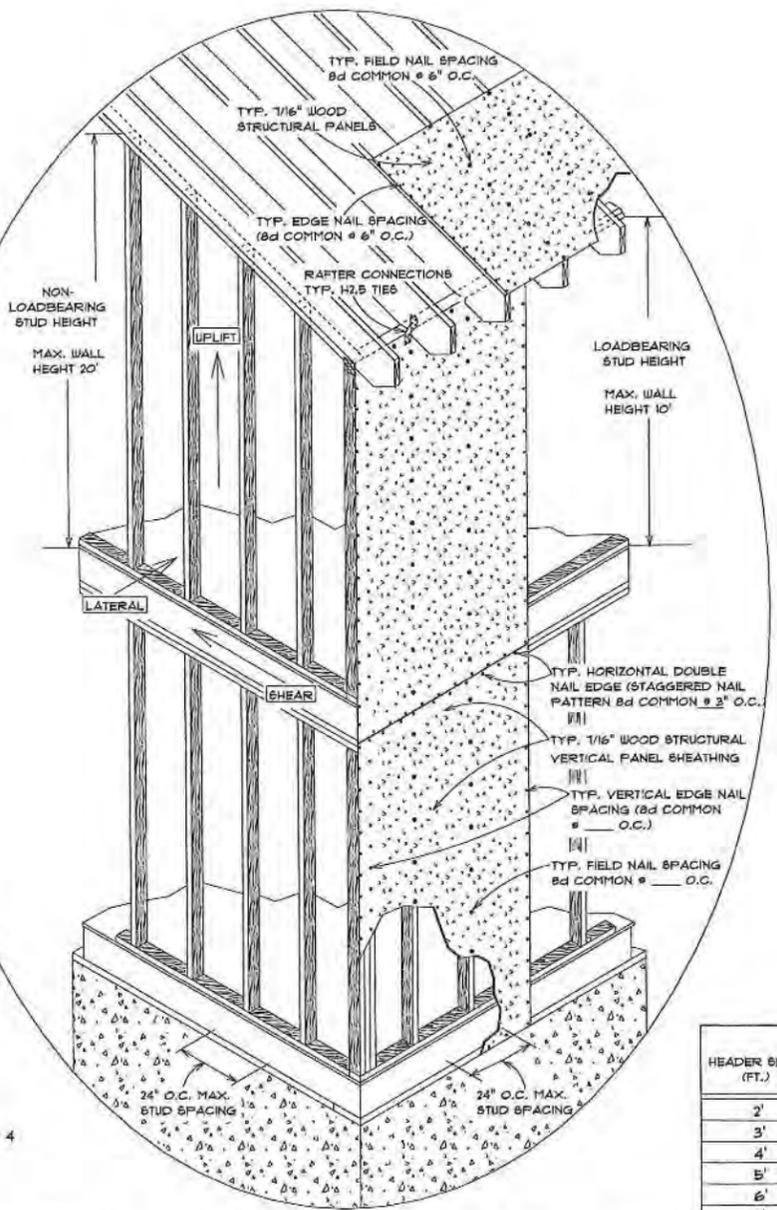


AWC GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS 110 MPH WIND ZONE MASSACHUSETTS CHECKLIST FOR COMPLIANCE (180 CMR 5301.2.1.1)

CHECK COMPLIANCE

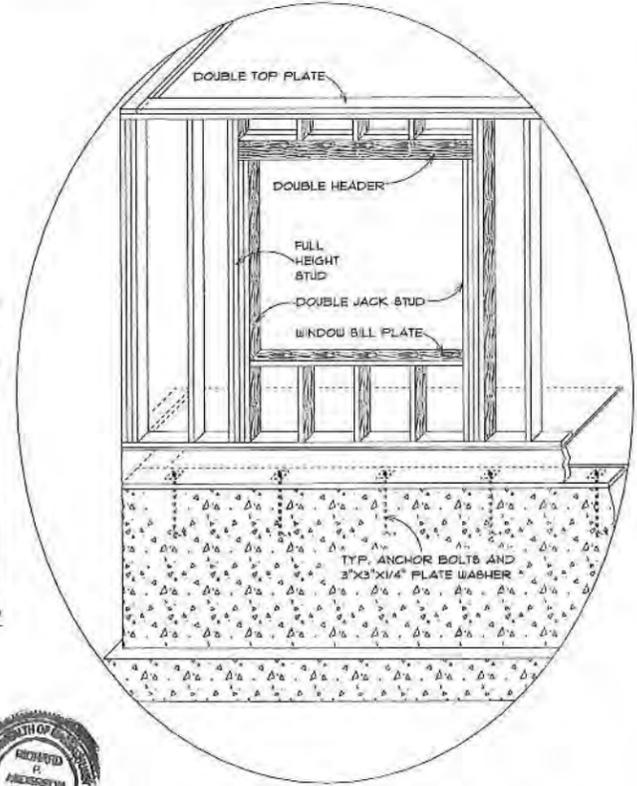
| | | |
|--|--------------------|---|
| 1.1 SCOPE | | WIND SPEED (3-SEC. GUST)..... 110 MPH <input checked="" type="checkbox"/> |
| | | WIND EXPOSURE CATEGORY..... B <input checked="" type="checkbox"/> |
| 1.2 APPLICABILITY | | |
| NUMBER OF STORIES (A ROOF WHICH EXCEEDS 8 IN 12 SLOPE SHALL BE CONSIDERED A STORY) | | 2 STORIES < 2 STORIES <input checked="" type="checkbox"/> |
| ROOF PITCH..... (FIG 2) | 8/12 < 12/12 | <input checked="" type="checkbox"/> |
| MEAN ROOF HEIGHT..... (FIG 2) | 17 FT < 23' | <input checked="" type="checkbox"/> |
| BUILDING WIDTH, W..... (FIG 3) | 22 FT < 80' | <input checked="" type="checkbox"/> |
| BUILDING LENGTH, L..... (FIG 3) | 38 FT < 80' | <input checked="" type="checkbox"/> |
| BUILDING ASPECT RATIO (L/W)..... (FIG 4) | 1.75 < 3.1 | <input checked="" type="checkbox"/> |
| NOMINAL HEIGHT OF TALLEST OPENING..... (FIG 4) | 6'-8" < 6' 8" | <input checked="" type="checkbox"/> |
| 1.3 FRAMING CONNECTIONS | | |
| GENERAL COMPLIANCE WITH FRAMING CONNECTIONS..... (TABLE 2) | | <input checked="" type="checkbox"/> |
| 2.1 FOUNDATION | | |
| FOUNDATION WALLS MEETING REQUIREMENTS OF 180 CMR 540.1 | | <input checked="" type="checkbox"/> |
| CONCRETE..... | | <input checked="" type="checkbox"/> |
| CONCRETE MASONRY..... | | <input checked="" type="checkbox"/> |
| 2.2 ANCHORAGE TO FOUNDATION¹³ | | |
| 5/8" ANCHOR BOLTS IMBEDDED OR 5/8" PROPRIETARY MECHANICAL ANCHORS AS AN ALTERNATIVE IN CONCRETE ONLY | | <input checked="" type="checkbox"/> |
| BOLT SPACING-GENERAL..... (TABLE 4) | 24 IN. | <input checked="" type="checkbox"/> |
| BOLT SPACING FROM END/JOINT OF PLATE..... (FIG 5) | 6-12" IN. < 6'-12" | <input checked="" type="checkbox"/> |
| BOLT EMBEDMENT-CONCRETE..... (FIG 5) | 1 IN. > 1" | <input checked="" type="checkbox"/> |
| BOLT EMBEDMENT-MASONRY..... (FIG 5) | 2 IN. > 2" | <input checked="" type="checkbox"/> |
| PLATE WASHER..... (FIG 5) | > 3"x3"x1/4" | <input checked="" type="checkbox"/> |
| 3.1 FLOORS | | |
| FLOOR FRAMING MEMBER SPANS CHECKED..... (PER 180 CMR 55.00) | | <input checked="" type="checkbox"/> |
| MAXIMUM FLOOR OPENING DIMENSION..... (FIG 6) | | 11 FT < 12' |
| FULL HEIGHT WALL STUDS AT FLOOR OPENINGS LESS 2' FROM EXTERIOR WALL (FIG 6) | | <input checked="" type="checkbox"/> |
| MAXIMUM FLOOR JOIST SETBACKS | | <input checked="" type="checkbox"/> |
| SUPPORTING LOADBEARING WALLS OR SHEARWALL..... (FIG 7) | | 0 FT < d |
| MAXIMUM CANTILEVERED FLOOR JOIST | | <input checked="" type="checkbox"/> |
| SUPPORTING LOADBEARING WALLS OR SHEARWALL..... (FIG 8) | | 0 FT < d |
| FLOOR BRACING AT ENDWALLS..... (FIG 9) | | <input checked="" type="checkbox"/> |
| FLOOR SHEATHING TYPE..... (PER 180 CMR 55.00) | | 3/4" IN. |
| FLOOR SHEATHING THICKNESS..... (PER 180 CMR 55.00) | | 3/4" IN. |
| FLOOR SHEATHING FASTENING..... (TABLE 2) | | 8d NAILS AT 6" IN EDGE/ 12" IN FIELD |
| 4.1 WALLS | | |
| WALL HEIGHT | | <input checked="" type="checkbox"/> |
| LOADBEARING WALLS..... (FIG 10 AND TABLE 5) | | 1-8" FT < 10' |
| NON-LOADBEARING WALLS..... (FIG 10 AND TABLE 5) | | 1-8" FT < 20' |
| WALL STUD SPACING..... (FIG 10 AND TABLE 5) | | 16" IN < 24" O.C. |
| WALL STORY OFFSETS..... (FIG 11 & 8) | | 0 FT < d |
| 4.2 EXTERIOR WALLS³ | | |
| WALL STUDS | | <input checked="" type="checkbox"/> |
| LOADBEARING WALLS..... (TABLE 5) | | 2x 6-1 FT.F.B. IN |
| NON-LOADBEARING WALLS..... (TABLE 5) | | 2x 6-1 FT.F.B. IN |
| GABLE END WALL BRACING | | <input checked="" type="checkbox"/> |
| FULL HEIGHT ENDWALL STUDS..... (FIG 10) | | <input checked="" type="checkbox"/> |
| WEP ATTIC FLOOR LENGTH..... (FIG 11) | | 0 FT > 11/3 |
| GYPSUM CEILING LENGTH (IF USE NOT USED)..... (FIG 11) | | 0 FT > 0.5W |
| AND 2x4 CONTINUOUS LATERAL BRACE # 6 FT. O.C. (FIG 11) | | <input checked="" type="checkbox"/> |
| OR 1x3 CEILING FURRING STRIPS # 16" SPACING MIN. WITH 2x4 BLOCKING # 4 FT. SPACING IN END | | <input checked="" type="checkbox"/> |
| JOIST OR TRUSS BAYS..... | | <input checked="" type="checkbox"/> |
| DOUBLE TOP PLATE | | <input checked="" type="checkbox"/> |
| SPlice LENGTH..... (FIG 13 AND TABLE 6) | | 8 FT |
| SPlice CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 6) | | 8 |
| LOADBEARING WALL CONNECTIONS | | <input checked="" type="checkbox"/> |
| LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 7) | | 2 |
| NON-LOADBEARING WALL CONNECTIONS | | <input checked="" type="checkbox"/> |
| LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 8) | | 2 |
| LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9) | | <input checked="" type="checkbox"/> |
| HEADER SPANS..... (TABLE 9) | | 16 FT 0 IN. < 11' |
| BILL PLATE SPANS..... (TABLE 9) | | 0 FT 0 IN. < 11' |
| FULL HEIGHT STUDS (NO. OF STUDS)..... (TABLE 9) | | 6x6 PBL POST |
| NON-LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9) | | <input checked="" type="checkbox"/> |
| HEADER SPANS..... (TABLE 9) | | NONE FT IN. < 12' |
| BILL PLATE SPANS..... (TABLE 9) | | NONE FT IN. < 12' |
| FULL HEIGHT STUDS (NO. OF STUDS)..... (TABLE 9) | | NONE |
| EXTERIOR WALL SHEATHING TO RESIST UPLIFT AND SHEAR SIMULTANEOUSLY ¹⁴ | | <input checked="" type="checkbox"/> |
| MINIMUM BUILDING DIMENSION, (W) | | <input checked="" type="checkbox"/> |
| NOMINAL HEIGHT OF TALLEST OPENING..... | | 4'-5" < 6'-8" |
| SHEATHING TYPE..... (NOTE 4) | | 1/2 IN. |
| EDGE NAIL SPACING..... (TABLE 10 OR NOTE 4 IF LESS) | | IN. |
| FIELD NAIL SPACING..... (TABLE 10) | | IN. |
| SHEAR CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 10) | | 2 |
| PERCENT FULL-HEIGHT SHEATHING..... (TABLE 10) | | % |
| 5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6'-8" (DESIGN CONCEPTS) | | <input checked="" type="checkbox"/> |
| MAXIMUM BUILDING DIMENSION, (L) | | <input checked="" type="checkbox"/> |
| NOMINAL HEIGHT OF TALLEST OPENING..... | | 6'-8" < 6'-8" |
| SHEATHING TYPE..... (NOTE 4) | | 1/2 IN. |
| EDGE NAIL SPACING..... (TABLE 11 OR NOTE 4 IF LESS) | | IN. |
| FIELD NAIL SPACING..... (TABLE 11) | | IN. |
| SHEAR CONNECTION (NO. OF 16d COMMON NAILS)..... (TABLE 11) | | 2 |
| PERCENT FULL-HEIGHT SHEATHING..... (TABLE 11) | | % |
| 5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6'-8" (DESIGN CONCEPTS) | | <input checked="" type="checkbox"/> |
| WALL CLADDING | | <input checked="" type="checkbox"/> |
| RATED FOR WIND SPEED..... | | <input checked="" type="checkbox"/> |
| 5.1 ROOFS | | |
| ROOF FRAMING MEMBER SPANS CHECKED (FOR RAFTERS USE AWC SPAN TOOL, SEE BDRS WEBSITE) | | <input checked="" type="checkbox"/> |
| ROOF OVERHANG..... (FIGURE 19) | | 12" FT < SMALLER OF 2' OR L/3 |
| TRUSS OR RAFTER CONNECTIONS AT LOADBEARING WALLS | | <input checked="" type="checkbox"/> |
| PROPRIETARY CONNECTORS | | <input checked="" type="checkbox"/> |
| UPLIFT..... (TABLE 12) | | U-110 PLF |
| LATERAL..... (TABLE 12) | | L-116 PLF |
| SHEAR..... (TABLE 12) | | S-11 PLF |
| RIDGE STRAP CONNECTIONS, IF COLLAR TIES NOT USED PER (TABLE 13) | | T-134 PLF |
| GABLE RAKE OUTLOOKER..... (FIGURE 20) | | 5" FT < SMALLER OF 2' OR L/3 |
| TRUSS OR RAFTER CONNECTIONS AT NON-LOADBEARING WALLS | | <input checked="" type="checkbox"/> |
| PROPRIETARY CONNECTORS | | <input checked="" type="checkbox"/> |
| UPLIFT..... (TABLE 14) | | U-411 LB. |
| LATERAL (NO. OF 16d COMMON NAILS)..... (TABLE 14) | | L-142 LB. |
| ROOF SHEATHING TYPE..... (PER 180 CMR 55.00 AND 55.00) | | 1/2 IN. > 7/16" WSP |
| ROOF SHEATHING THICKNESS..... | | 1/2 IN. > 7/16" WSP |
| ROOF SHEATHING FASTENING..... (TABLE 2) | | 8d NAILS AT 6" IN EDGE/ 12" IN FIELD |

110 MPH EXPOSURE B WIND ZONE



| JOINT DESCRIPTION | NUMBER OF COMMON NAILS | NUMBER OF BOX NAILS | NAIL SPACING |
|--|------------------------|---------------------|----------------------|
| ROOF FRAMING | | | |
| BLOCKING TO RAFTERS (TOE-NAILED) | 2-8d | 2-10d | EACH END |
| RIP BOARD TO RAFTER (END-NAILED) | 2-6d | 3-6d | EACH END |
| WALL FRAMING | | | |
| TOP PLATE AT INTERSECTIONS (FACE-NAILED) | 4-6d | 5-6d | AT JOINTS |
| STUD TO STUD (FACE-NAILED) | 2-6d | 2-6d | 24" O.C. |
| HEADER TO HEADER (FACE-NAILED) | 1-6d | 1-6d | 16" O.C. ALONG EDGES |
| FLOOR FRAMING | | | |
| JOIST TO BILL, TOP PLATE OR GIRDER (TOE-NAILED) | 4-8d | 4-10d | PER JOIST |
| BLOCKING TO JOIST (TOE-NAILED) | 2-8d | 2-10d | EACH END |
| BLOCKING TO BILL OR TOP PLATE (TOE-NAILED) | 3-6d | 4-6d | EACH BLOCK |
| LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED) | 3-6d | 4-6d | EACH JOIST |
| JOIST ON LEDGER TO BEAM (TOE-NAILED) | 3-8d | 3-10d | PER JOIST |
| BAND JOIST TO JOIST (END-NAILED) | 3-6d | 4-6d | PER JOIST |
| BAND JOIST TO BILL OR TOP PLATE (TOE-NAILED) | 3-6d | 3-6d | PER JOIST |
| ROOF SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| RAFTERS OR TRUSSES SPACED UP TO 16" O.C. | 8d | 10d | 6" EDGE / 6" FIELD |
| RAFTERS OR TRUSSES SPACED OVER 16" O.C. | 8d | 10d | 4" EDGE / 4" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS WITH NO GABLE OVERHANG | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/STRUCTURAL OUTLOOKERS | 8d | 10d | 6" EDGE / 6" FIELD |
| GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUT BLOCKS | 8d | 10d | 4" EDGE / 4" FIELD |
| CEILING SHEATHING | | | |
| GYPSUM WALLBOARD | 5d COOLERS | - | 1" EDGE / 10" FIELD |
| WALL SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| STUDS SPACED UP TO 24" O.C. | 8d | 10d | 6" EDGE / 10" FIELD |
| 1/2" AND 5/8" FIBERBOARD PANELS | 8d | - | 3" EDGE / 6" FIELD |
| 1/2" GYPSUM WALLBOARD | 5d COOLERS | - | 1" EDGE / 10" FIELD |
| FLOOR SHEATHING | | | |
| WOOD STRUCTURAL PANELS | | | |
| 1" OR LESS | 8d | 10d | 6" EDGE / 10" FIELD |
| GREATER THAN 1" | 10d | 10d | 6" EDGE / 6" FIELD |

GENERAL NAILING SCHEDULE



STUDS AND HEADERS AROUND WALL OPENINGS

MAXIMUM WALL STUD HEIGHT, STUD SPACING, RAFTER CONNECTION AND WALL SHEATHING

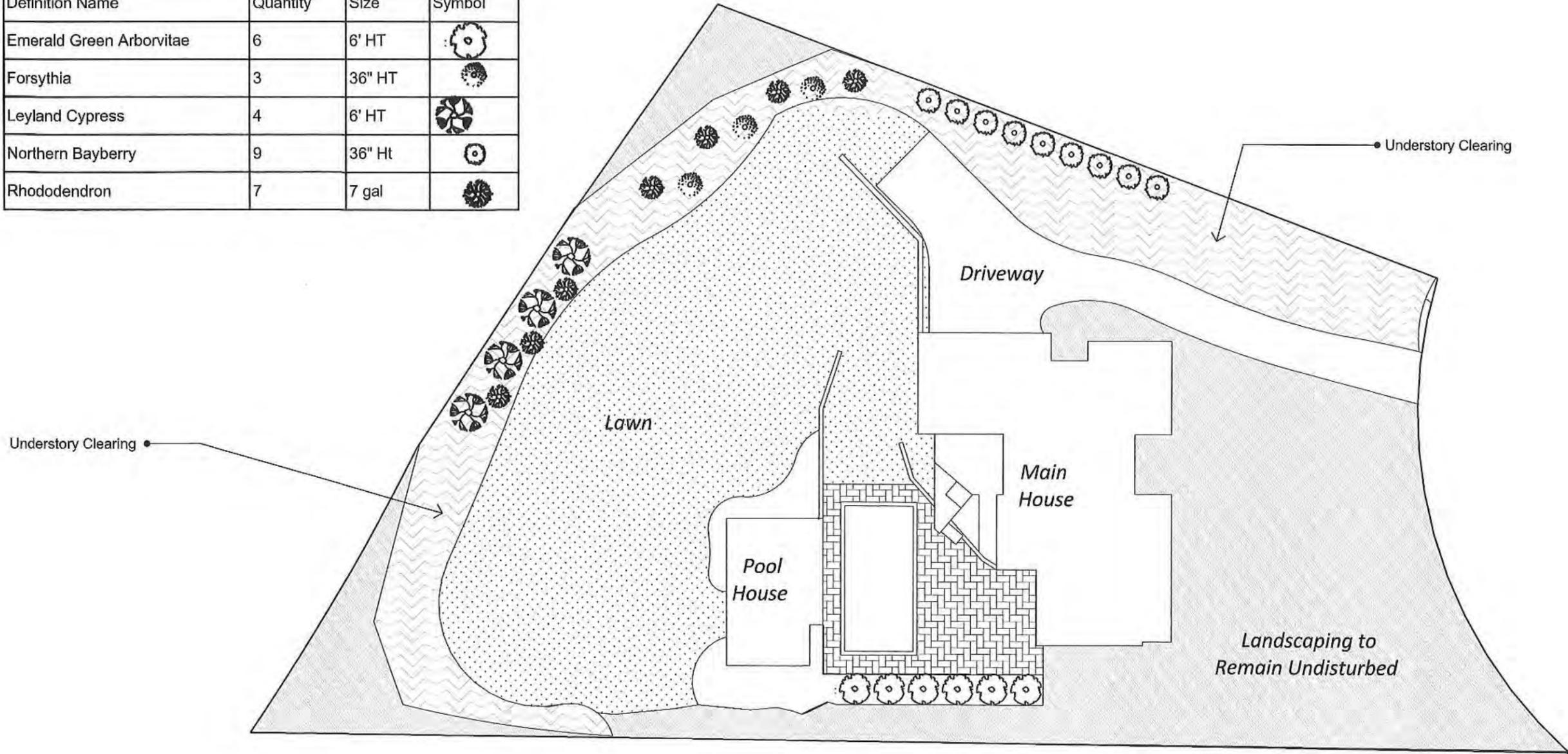
| HEADER SPAN (FT.) | MINIMUM HEADER SIZE | REQUIREMENTS AT EACH END OF HEADER | | |
|-------------------|---------------------|------------------------------------|--------------|---------------|
| | | NUMBER OF FULL-HEIGHT STUDS | UPLIFT (LB.) | LATERAL (LB.) |
| 2' | 2-2X4 | 1 | 211 | 132 |
| 3' | 2-2X4 | 2 | 416 | 198 |
| 4' | 2-2X4 | 2 | 554 | 264 |
| 5' | 2-2X4 | 3 | 693 | 330 |
| 6' | 2-2X6 | 3 | 831 | 396 |
| 7' | 2-2X8 | 3 | 970 | 462 |
| 8' | 2-2X12 | 3 | 1108 | 528 |
| 9' | 3-2X10 | 3 | 1247 | 594 |
| 10' | 3-2X12 | 4 | 1385 | 660 |
| 11' | 4-2X10 | 4 | 1524 | 726 |

WALL OPENINGS - HEADERS IN LOADBEARING WALLS



Plant Schedule

| Definition Name | Quantity | Size | Symbol |
|--------------------------|----------|--------|--------|
| Emerald Green Arborvitae | 6 | 6' HT | |
| Forsythia | 3 | 36" HT | |
| Leyland Cypress | 4 | 6' HT | |
| Northern Bayberry | 9 | 36" Ht | |
| Rhododendron | 7 | 7 gal | |



**GADE MASONRY
&
LANDSCAPING**

CLIENT
Alex Braga
344 Oakmont Rd
Cummaquid, MA

ISSUE
04/24/2020

PROJECT
Braga Residence

DRAWN BY
CS
Landscape Plan





Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin_logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: _____ Date _____

NOTE All applications must be signed by the current owner

Owner (print): David + Diane Munsell Telephone #: 508-428-3315
 Address of Proposed Work: 3074 Main St. Village Barnstable Map Lot # 279-035
 Mailing Address (if different) P.O. Box 336

Owner's Signature Dave

Description of Proposed Work: Give particulars of work to be done: Replace Aluminum storm door + side lites w/ 3'0 x 6'8" 9 lite fiberglass door w/ 3 lite 14" side panels. Install new screen door white buck bottom to match door height. (use same opening)

Agent or Contractor (print): David Munsell Telephone #: 508-428-3315
 Address: _____

Contractor/Agent signature: _____

| | |
|--|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> |
|--|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other ___
Material: red cedar ___ white cedar ___ other ___ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify _____
Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes 1st member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior ___ None ___

Door style and make: Jeldwen material Fiber glass/wood trim Color: White

TRIM TO MATCH EXISTING.

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood ___ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Dog Print Name David Mussell Jr

Location Map

| | | | | |
|------------------|-----------------------|--------|------------|-------------------------|
| Owner | | | | |
| Property Address | 3074 Main St | | | |
| City | Barnstable | County | Barnstable | State MA Zip Code 02630 |
| Client | David & Diane Munsell | | | |





Will use existing opening...

3074 Main

SU EXTERIOR DOOR UNIT

FIBERGLASS DOOR, WOOD FRAME, SGL W/2 SDLTS, CONT SILL, POST, STAT-LH-STAT, IS, 3-0, 6-8 HGT, SP684FG9CL-2P, 1-2 SDLT, SP692FG3CL, FJP SIDELITE STOPS, FJP SIDELITE STOPS, NO REINFORCE, SGL BORE & 218 DBLT BORE, PREP JAMB FOR DBLT, SQUARE RADIUS HINGE, DARK BRONZE, 4-9/16, FJP FRAME SAVER, BRONZE COMPRESSION WS, ALUM BRONZE SILL, NO CASING, NO HORNS





Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

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Check all categories that apply;

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 05/23/2020

NOTE All applications must be signed by the current owner

Owner (print): ANDRE ADRIANA LIMERINO Telephone #: 508 738 1764
 Address of Proposed Work: 167 STONEY CREEK Village CUMMAQUID Map Lot # 351|007 1001
 Mailing Address (if different) 48 WARWICK WAY CENTREVILLE, MA 02632

Owner's Signature: _____
 Description of Proposed Work: Give particulars of work to be done: NEW SINGLE FAMILY HOME - 2 STORY WITH 2 CAR GARAGE WITH 4 BEDROOMS AND 3 1/2 BATHS
2828 SF

Agent or Contractor (print): ANDRE LIMARINO Telephone #: 508 738-1764
 Address: 48 WARWICK WAY CENTREVILLE, MA 02632 774 836 8536

Contractor/Agent' signature: _____ ANDRE LIMARINO

| | |
|--|--|
| <p><i>For committee use only</i></p> <p>Date _____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Conditions of approval _____</p> <p>_____</p> | <p>This Certificate is hereby APPROVED / DENIED</p> <p>Members signatures _____</p> <p>_____</p> <p>_____</p> |
|--|--|

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit **5 copies**

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) POURED CONCRETE

Siding Type: Clapboard ___ shingle ___ other SHIP LAP
Material: red cedar ___ white cedar ___ other ___ Color: WHITE

Chimney Material: OPTION (STONE) IF WE DO ONE Color: white

Roof Material: (make & style) LANDMARK ARCHITECTURAL ASPALT Color: MOIRE BLACK

Roof Pitch(s): (7/12 minimum) 12/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood ___ other material, specify AZEK

Size of cornerboards WOODEN size of casings (1 X 4 min.) 1 X 4 color white

Rakes 1st member 1 X 8 2nd member 1 X 3 Depth of overhang 4 IN TO 6 IN

Window: (make/model) Pella Lite styles material CLAD color BLACK
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights ___ exterior glued grills 2/2 grills between glass ___ removable interior ___ None ___

FRONT
Door style and make: SIMPSON 4 Lite material WOOD Color: BLACK

Garage Door, Style 16 Lite Size of opening 18' X 7.6 Material PVC Color BLACK

Shutter Type/Style/Material: NONE Color: _____

Gutter Type/Material: ALUMINUM Color: WHITE

Deck material: wood N/A other material, specify _____ Color: _____

Skylight, type/make/model: N/A material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

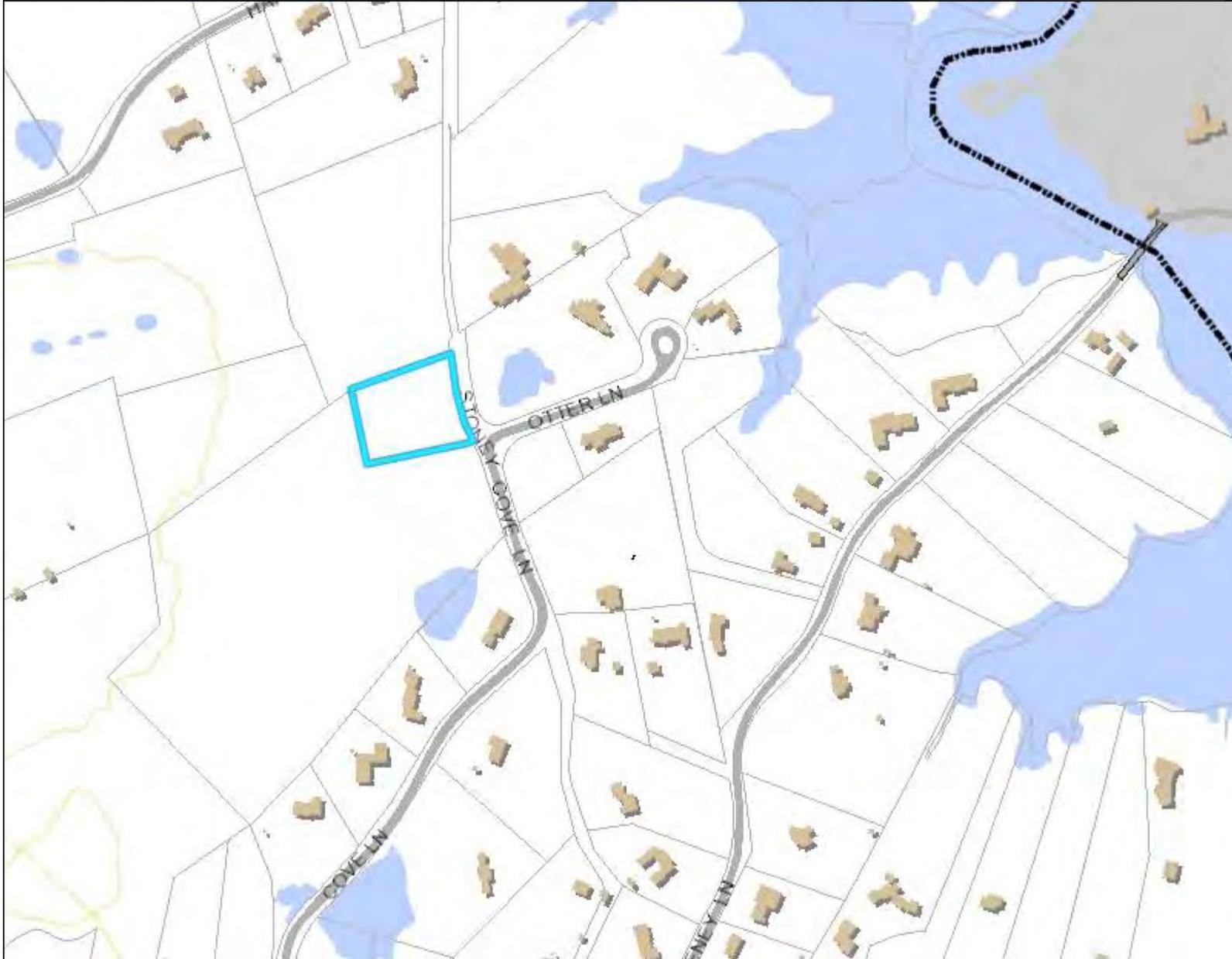
Lighting, freestanding POST on building YES illuminating sign /

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) JEAN BOWDIN Print Name _____



Legend

- Parcels
- - - Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/8/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 5/22/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

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Legend

Road Names



Map printed on: 6/8/2020



Approx. Scale: 1 inch = 83 feet



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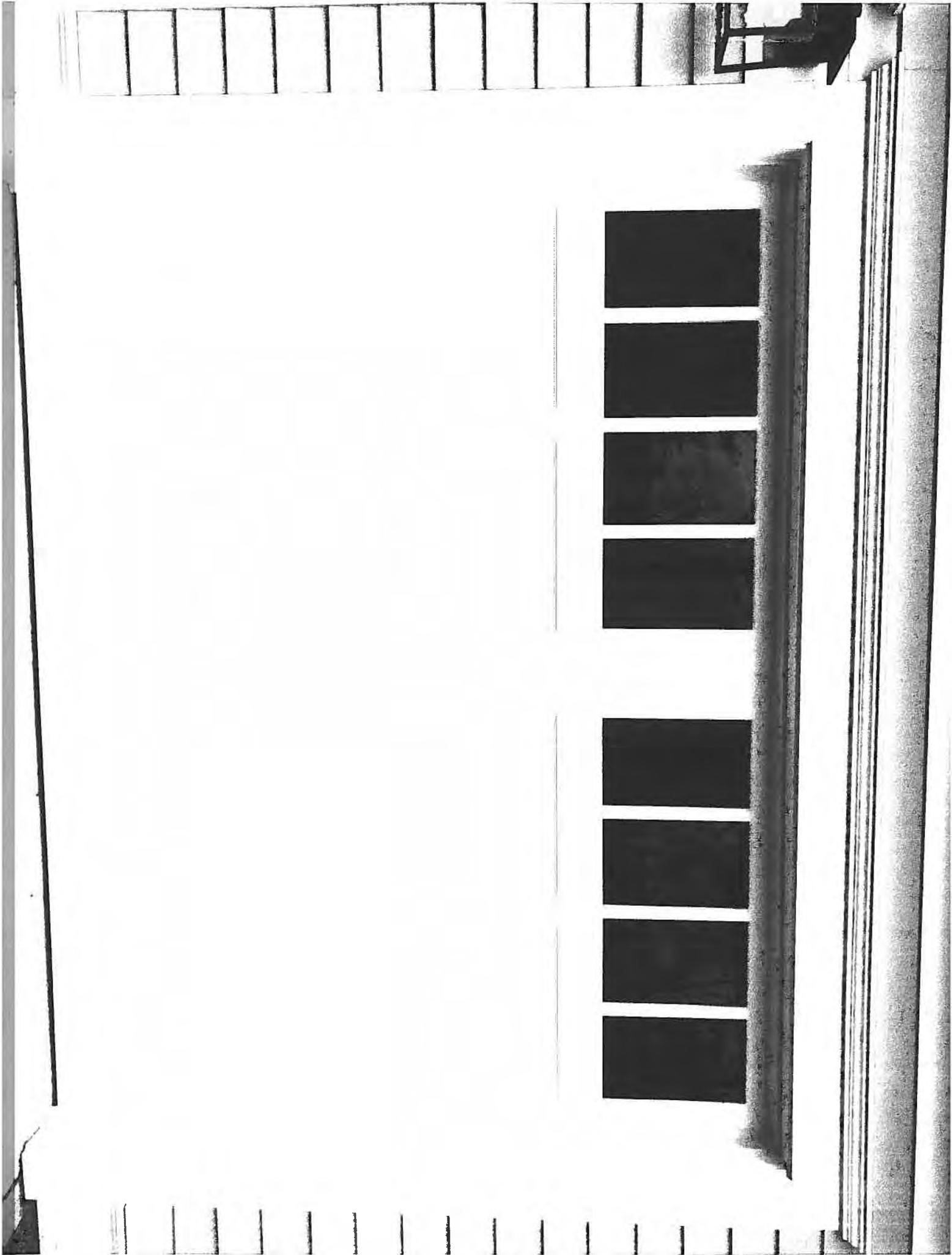


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

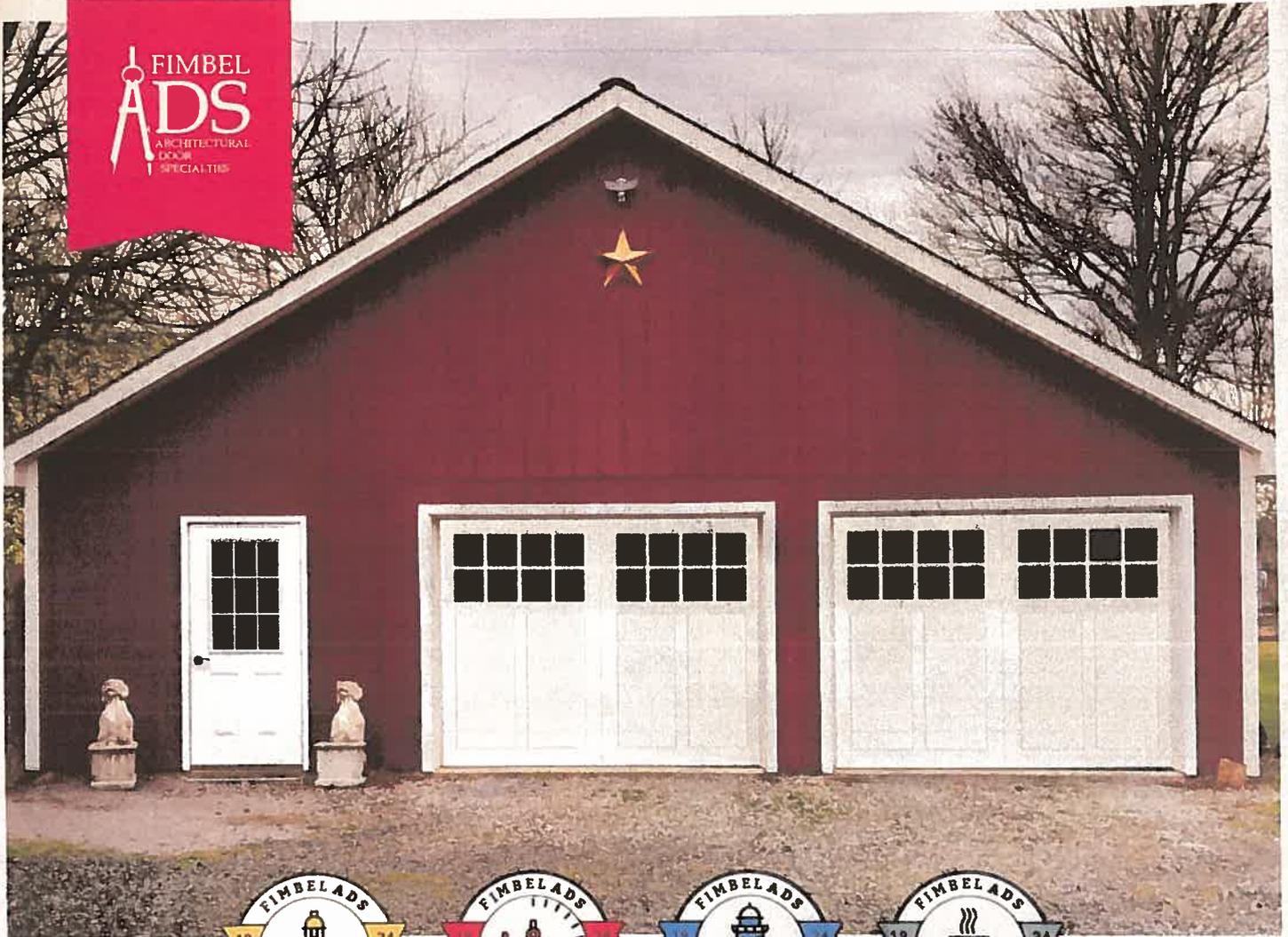
gis@town.barnstable.ma.us



American Legends Collection

Classic, Durable, and Affordable!

FIMBEL
ADS
ARCHITECTURAL
DOOR
SPECIALTIES



Fimbel American Legends doors can be found on garages of old-fashioned neighborhoods and new developments alike. With head-turning curb appeal, they provide extraordinary beauty and require very low maintenance. Built using advanced materials, every American Legends door delivers superlative style, years of good looks and a terrific return-on-investment.



American Legends Collection

Classic, Durable, and Affordable!



Doors featuring the Fimbel Footnote logo have been designed based on original period door designs. Fimbel doors are lauded by historic societies everywhere.



Using patented techniques, Fimbel doors are manufactured to the tightest tolerances allowing sections to be easily replaced.



Long-life performance for harsh coastal environments. We use advanced materials that do not rot, split, or rust. Lasting beauty is built in to every Fimbel door.



Constructed from advanced materials, we've engineered most maintenance **OUT** of every door we build, for worry-free great looks - every day.

Door Styles

Overhead Carriage House or Overhead

Design Features

- Built in four sections up to 8 feet in height
- Solid Vinyl overlays
- No embossed "fake" woodgrain
- Almost unlimited factory finishing options
- Mix and match grilles and bottom panels



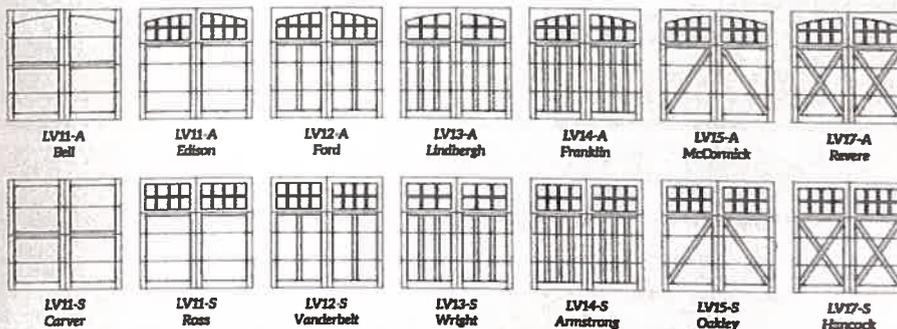
LV12-S Vanderbelt



LV17-A Reverse

Models and Specifications

To view our complete catalogue of available models and product specifications go to www.fimbelads.com/American-Legends

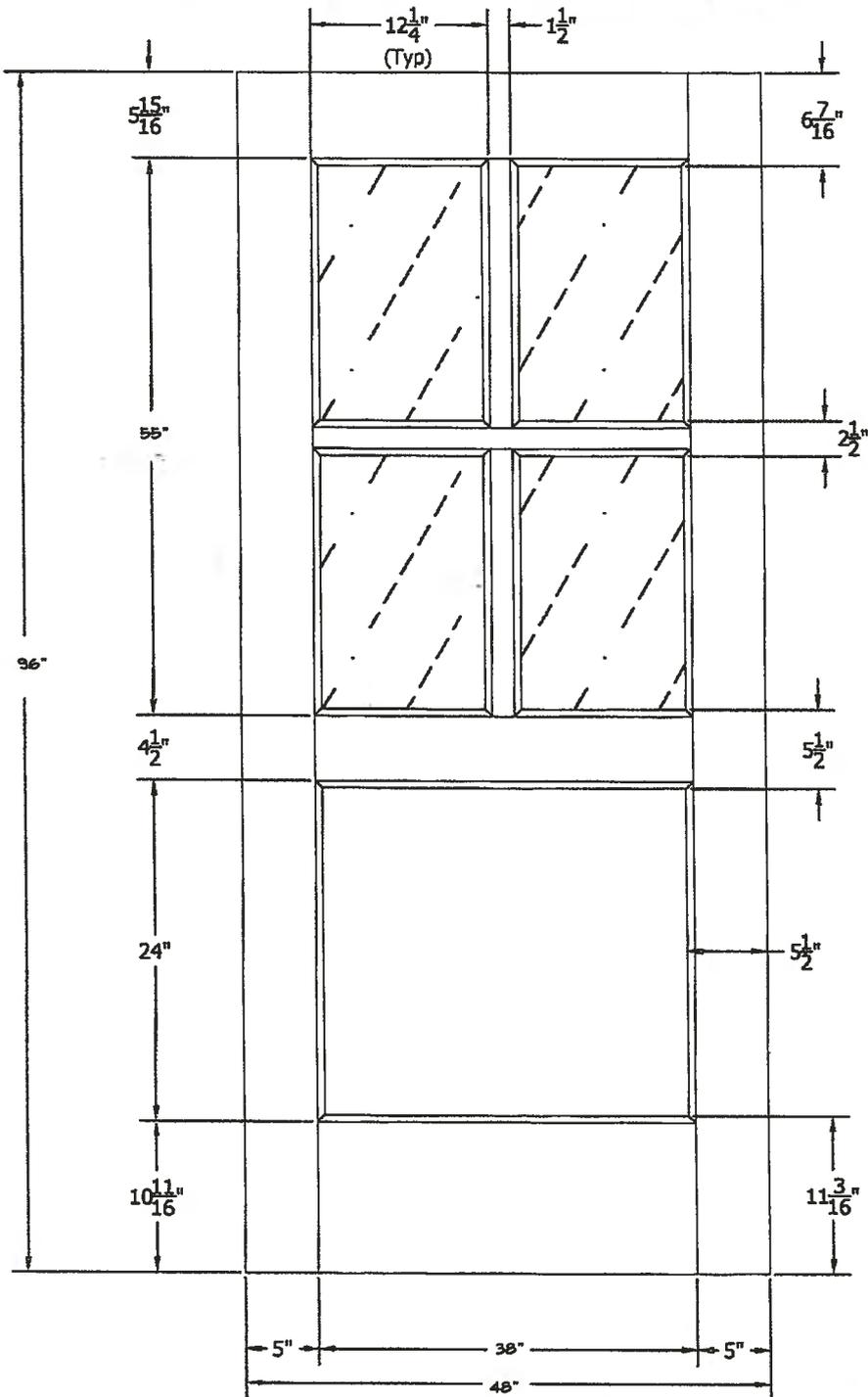


Fimbel Architectural Door Specialties
PO Box 96, Whitehouse NJ 08888
www.fimbelads.com

10.2017A



As shown, from Interior. Glazing is a general representation



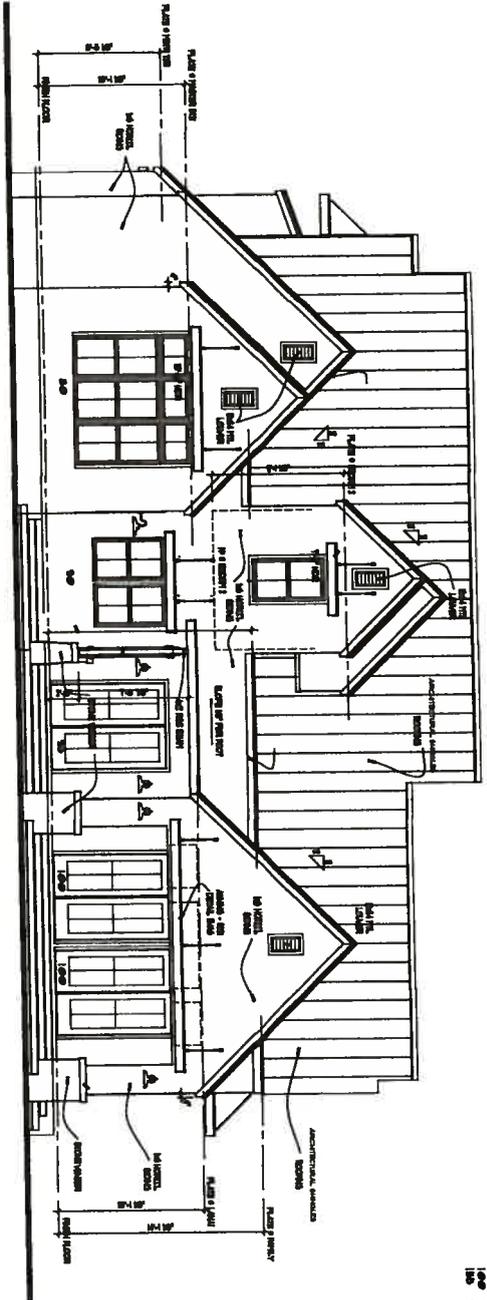
THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

NOTE: It is your responsibility to proof all specifications and details of this drawing. Any questions or concerns regarding the drawing must be communicated to Simpson Door Company prior to your approval. Any changes to this drawing may effect price and lead time. Signed off orders may not be canceled and any changes must be approved by Simpson Door Company for viability of design or ability for modification.

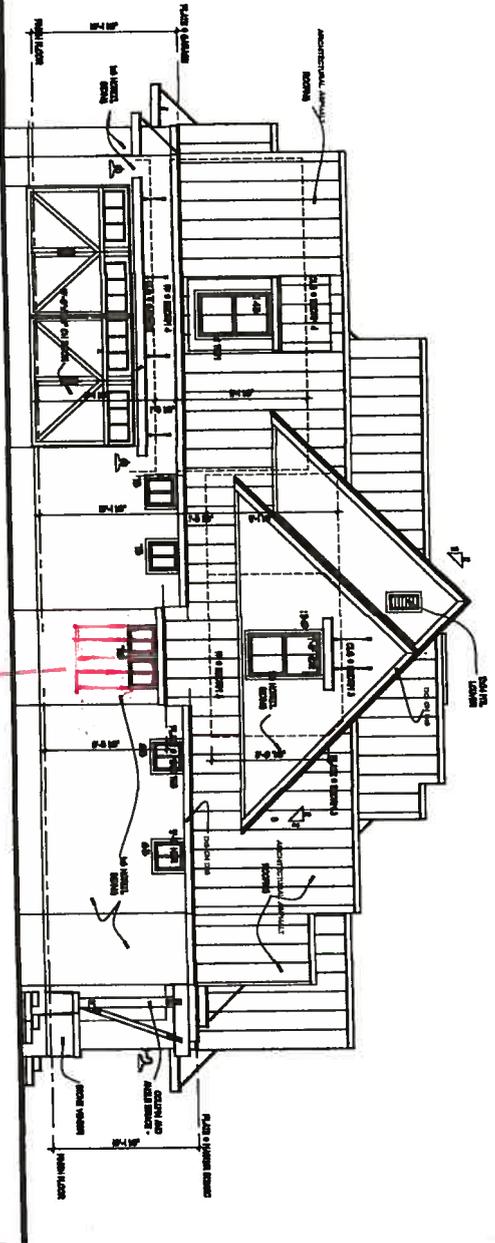
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|--------------------------------------|-----------------|
| Quote# | ID# |
| TITLE 6802 3/0 X 7/0 Quote Layout | |
| DRAWING NO. 089555-2 | |
| LAYOUT SLO-SHA | |
| DRAWN BY: C. Hoover | DATE 06/20/2018 |
| Simpson® | |

| | | | |
|----------------------|---------------|------------|-------|
| Customer Approvals: | Printed Name: | Signature: | Date: |
| Order# / Line Item : | | | |

REAR ELEVATION



RIGHT ELEVATION



option 50" x 60"

WINDOWS / DOORS SCHEDULE

| | | |
|-----------------|-----|---------------------|
| RIGHT ELEVATION | 140 | 36 1/4" x 60" 1/4" |
| | 141 | 36 1/4" x 60" 1/4" |
| | 142 | 36 1/4" x 60" 1/4" |
| | 143 | 36 1/4" x 60" 1/4" |
| | 144 | 36 1/4" x 60" 1/4" |
| | 145 | 36 1/4" x 60" 1/4" |
| | 146 | 36 1/4" x 60" 1/4" |
| | 147 | 36 1/4" x 60" 1/4" |
| | 148 | 36 1/4" x 60" 1/4" |
| | 149 | 36 1/4" x 60" 1/4" |
| | 150 | 36 1/4" x 60" 1/4" |
| REAR ELEVATION | 151 | 107 1/4" x 60" 3/4" |
| | 152 | 72" x 60" |
| | 153 | 72" x 60" |
| | 154 | 36 1/4" x 60" 1/4" |



DATE: _____
 PROJECT: _____
 ARCHITECT: _____

Andre & Adriana Ladrino - 167 Stony Cove Lane - Cambridge, MA

DAVID E. WIGGINS
ARCHITECT
 A PROFESSIONAL CORPORATION
 PO Box 228 - Magnolia, Texas - 77355
 (832) 624-0620





Contract - Detailed

Pella Window and Door Showroom of Centerville
 1600 Falmouth Road
 Centerville, MA 02632
 Phone: (508) 771-9730 Fax: (508) 771-8270

Sales Rep Name: Vine, Glenn
 Sales Rep Phone: 508-922-4029
 Sales Rep Fax:
 Sales Rep E-Mail: gvine@goppella.com

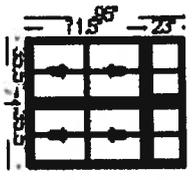
| Customer Information | Project/Delivery Address | Order Information |
|---|---|---|
| Limarino Carpentry Inc. 21 Fruen Way Unit D SOUTH YARMOUTH, MA 02664-1690 Primary Phone: (508) 738-1764 Mobile Phone: Fax Number: E-Mail: limarincarpentry@gmail.com Contact Name: Great Plains #: LMCAR Customer Number: 1008196562 Customer Account: 1004123623 | GV-167 Stoney Cove Lane 167 Stoney Cove Lane Lot # BARNSTABLE, MA 02630 County: BARNSTABLE Owner Name: Limarino Carpentry Inc. Owner Phone: (508) 738-1764 | Quote Name: LS 5-18-20 Order Number: 182 Quote Number: 10523616 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Deposit/C.O.D. Tax Code: MASS Cust Delivery Date: None Quoted Date: 8/23/2018 Contracted Date: Booked Date: Customer PO #: |

Customer Notes: 5-18-20 LifeStyle Series Prepay by check in full-Deduct \$1979.58

- Exterior-Seacoast Black
- Interior-Prefinished Black Stain
- Glass-Insulshield IG Low E Advanced w/ Argon-Tempered where noted
- Hardware-Matte Black
- Screen-InView Mesh
- Grilles-SDL Bonded Exterior & Interior
- Jambs-Windows3-11/16"
- Doors-6-9/16"
- Anchor-Nailing Fin

| Line # | Location: | Attributes | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|------------|-----|-------------|
|--------|-----------|------------|------------|-----|-------------|

| | | | | | |
|----|-----------|---|------------|---|------------|
| 45 | B-2-Study | Lifestyle, 2-Wide Double Hung, Lifestyle, 2-Wide Sash Set, 71 X 95, Black | \$2,455.24 | 1 | \$2,455.24 |
|----|-----------|---|------------|---|------------|



Viewed From Exterior

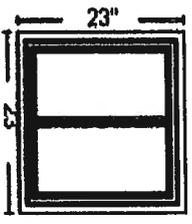
PK #
2058

1: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP
 Rating 30, Calculated Negative DP Rating 30, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure-20
 2: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP
 Rating 30, Calculated Negative DP Rating 30, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Horizontal Mull 1: FactoryMull, 1/2" mullion for 3-9/16", Mull Design Pressure-20
 3: 35.523 Fixed Sash Set
 Frame Size: 35 1/2 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP
 Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
 Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure-20
 4: 35.523 Fixed Sash Set
 Frame Size: 35 1/2 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP
 Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 332".

Rough Opening: 71 - 3/4" X 95 - 3/4"

| Line # | Location: | Attributes | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|------------|-----|-------------|
| 50 | C-Powder | | \$296.83 | 1 | \$296.83 |

Lifestyle, Sash Set Fixed, 23 X 23, Black



Viewed From Exterior

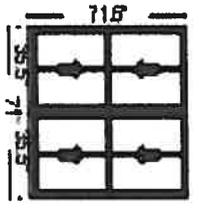
PK #
2058

1: 2323 Fixed Sash Set
 Frame Size: 23 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 30, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 92".

Rough Opening: 23 - 3/4" X 23 - 3/4"

| Line # | Location: | Attributes | Item Price | Qty | Ext'd Price |
|--------|------------|------------|------------|-----|-------------|
| 55 | D-2-Garage | | \$1,301.76 | 1 | \$1,301.76 |

Lifestyle, 2-Wide Double Hung, 71 X 71.5, Black



Viewed From Exterior

PK #
2058

1: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H / 2W/1H)
 Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20
 2: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H / 2W/1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 285".

Rough Opening: 71 - 3/4" X 72 - 1/4"

| Line # | Location: | Attributes |
|--------|-----------|------------|
|--------|-----------|------------|

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
|------------|-----|-------------|



PK #
2058

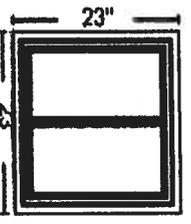
Viewed From Exterior

1: 3523 Fixed Sash Set
 Frame Size: 35 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 1/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 1/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 116"

Rough Opening: 35 - 3/4" X 23 - 3/4"

| Line # | Location: | Attributes |
|--------|-----------|------------|
|--------|-----------|------------|

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
|------------|-----|-------------|



PK #
2058

Viewed From Exterior

1: 2323 Fixed Sash Set
 Frame Size: 23 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 1/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 1/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 92"

Rough Opening: 23 - 3/4" X 23 - 3/4"

Line # Location:

70 F-M Bath-Temp

Attributes

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$991.98 | 1 | \$991.98 |

Lifestyle, 2-Wide Awning, 50 X 25, Black



PK # 2058

Viewed From Exterior

- 1: 2525 Vent Awning
- Frame Size: 25 X 25
- General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
- Exterior Color / Finish: Seacoast Enduraclad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
- Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Matte Black, No Limited Opening Hardware, No Integrated Sensor, Right Jamb
- Screen: Full Screen, Black, InView™
- Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-37-00522-00001, Performance Class LC, PG 50, Calculated Positive DP
- Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11, Egress Not Applicable
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H)
- Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure-20
- 2: 2525 Vent Awning
- Frame Size: 25 X 25
- General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
- Exterior Color / Finish: Seacoast Enduraclad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
- Hardware Options: Wash Hinge Hardware, Fold-Away Crank, Matte Black, No Integrated Sensor, Left Jamb
- Screen: Full Screen, Black, InView™
- Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-37-00522-00001, Performance Class LC, PG 50, Calculated Positive DP
- Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11, Egress Not Applicable
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H)
- Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 150"

50 X 60
OPTION

Rough Opening: 50 - 3/4" X 25 - 3/4"

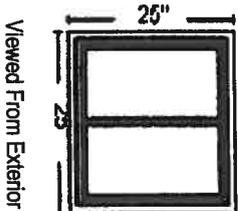
Line # Location:

75 C-W/C

Attributes

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$313.25 | 2 | \$626.50 |

Lifestyle, Sash Set Fixed, 25 X 25, Black



PK # 2056

Viewed From Exterior

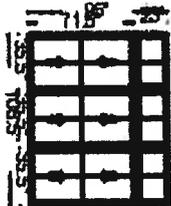
- 1: 2525 Fixed Sash Set
- Frame Size: 25 X 25
- General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
- Exterior Color / Finish: Seacoast Enduraclad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
- Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP
- Rating 50, Calculated Negative DP Rating 50, Year Rated 11
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
- Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 100"

Rough Opening: 25 - 3/4" X 25 - 3/4"

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Attributes

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|------------|------------|-----|-------------|
| 80 | B-3-Master | \$3,725.64 | 1 | \$3,725.64 |



PK #
2058

Viewed From Exterior

Lifestyle, 3-Wide Double Hung, Lifestyle, 3-Wide Sash Set, 106.5 X 95, Black

1: 35.571.5 Double Hung, Equal

Frame Size: 35 1/2 X 71 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP

Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20

2: 35.571.5 Double Hung, Equal

Frame Size: 35 1/2 X 71 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP

Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)

Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20

3: 35.571.5 Double Hung, Equal

Frame Size: 35 1/2 X 71 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP

Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)

Horizontal Mull 1: FactoryMull, 1/2" mullion for 3-9/16", Mull Design Pressure- 20

4: 35.523 Fixed Sash Set

Frame Size: 35 1/2 X 23
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)

Vertical Mull 3: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20

5: 35.523 Fixed Sash Set

Frame Size: 35 1/2 X 23
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Customer: Limarino Carpentry Inc.

Project Name: V-TU101 Quincy Cove Lane

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)

Vertical Mull 4: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20

6: 35.523 Fixed Sash Set

Frame Size: 35 1/2 X 23

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length =

403"

Rough Opening: 107 - 1/4" X 95 - 3/4

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Printed on 5/18/2020

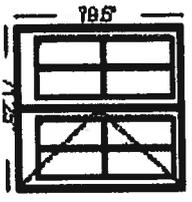
Contract - Detailed

Page 12 of 25

Attributes

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|-----|-------------|
| 85 | 1-Master | \$2,662.22 | 1 | \$2,662.22 |

Lifestyle, Double Inswing Door Fixed / Active, 71.25 X 79.5, Black



Viewed From Exterior

PK #
2058

1 : 7280 Fixed / Active Double Inswing Door
 Frame Size: 71 1/4 X 79 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 7 7/8", 6 9/16", No Certification, Standard Sill, Black Finish Sill
 Exterior Color / Finish: Seacoast Enduracled, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Tempered Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Standard, Matte Black, Multipoint Lock, No Integrated Sensor, Order Handle Set
 Screen: Sliding Screen, Black, Matte Black, InView™
 Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00004, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08111
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H / 2W2H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 302".

Rough Opening: 72" X 80"

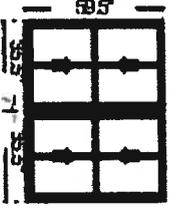
Line # Location:

90 A-2-Kitchen

Attributes

Lifestyle, 2-Wide Double Hung, 71 X 59.5, Black

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$1,191.89 | 2 | \$2,383.78 |



Viewed From Exterior

PK #
2058

1: 35.559.5 Double Hung, Equal

Frame Size: 35 1/2 X 59 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP

Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure-20

2: 35.559.5 Double Hung, Equal

Frame Size: 35 1/2 X 59 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP

Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 261"

Rough Opening: 71 - 3/4" X 60 - 1/4"

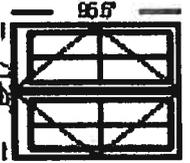
Line # Location:

Attributes

95 3-Dining

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$3,540.29 | 1 | \$3,540.29 |

Lifestyle, Double Inswing Door Active / Inactive, 71.25 X 95.5, Black



Viewed From Exterior

PK #
2058

- 1: 7296 Active / Inactive Double Inswing Door
- Frame Size: 71 1/4 X 95 1/2
- General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 7 7/8", 6 9/16", No Certification, Standard Sill, Black Finish Sill
- Exterior Color / Finish: Seacoast Enduracrad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Standard, Matte Black, Multipoint Lock, No Integrated Sensor, Order Handle Set, Order Handle Set
- Screen: Hinge Screen, Black, Matte Black, InView™
- Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00004, Performance Class LC, PG 50, Calculated Positive DP
- Rating 50, Calculated Negative DP Rating 50, Year Rated 0811
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H) / 2W2H
- Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 334"

Rough Opening: 72" X 96"

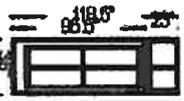
Line # Location:

Attributes

100 4-Family

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$1,930.44 | 1 | \$1,930.44 |

Lifestyle, Inswing Door, Support Product, Direct Set Fixed Frame Rectangle, 36 X 118.5, Black



Viewed From Exterior

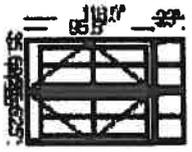
PK #
2058

- 1: 3696 Fixed Inswing Door
- Frame Size: 36 X 95 1/2
- General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 7 7/8", 6 9/16", No Certification, Standard Sill, Black Finish Sill
- Exterior Color / Finish: Seacoast Enduracrad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00004, Performance Class LC, PG 50, Calculated Positive DP
- Rating 50, Calculated Negative DP Rating 50, Year Rated 0811
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H)
- Horizontal Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
- 2: Non-Standard Size Fixed Frame
- Frame Size: 36 X 23
- General Information: Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
- Exterior Color / Finish: Seacoast Enduracrad, Black
- Interior Color / Finish: Black Stain Interior
- Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Performance Information: U-Factor 0.30, SHGC 0.29, VLT 0.55, CPD PEL-N-18-02968-00001, Performance Class CW, PG 90, Calculated Positive DP
- Rating 90, Calculated Negative DP Rating 90, Year Rated 0811
- Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
- Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 309"

Rough Opening: 36 - 3/4" X 119"

Attributes

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|-----|-------------|
| 105 | 5-Family | \$4,840.99 | 1 | \$4,840.99 |



Viewed From Exterior

PK #
2058

Lifestyle, Double Inswing Door, Support Product, Direct Set, Support Product, Direct Set, 71.25 X 118.5, Black

1: 7296 Active / Inactive Double Inswing Door

Frame Size: 71 1/4 X 95 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 7 7/8", 6 9/16", No Certification, Standard Sill, Black Finish Sill

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Standard, Matte Black, Multipoint Lock, No Integrated Sensor, Order Handle Set, Order Handle Set

Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00004, Performance Class LC, PG 50, Calculated Positive DP

Rating 90, Calculated Negative DP Rating 50, Year Rated 08/11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)

Horizontal Mull 1: FactoryMull, Reinforcing Plate, Frame To Frame Width- 0", Mull Design Pressure- 20

2: Non-Standard SizeNon-Standard Size Fixed Frame

Frame Size: 35 5/8 X 23

General Information: Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.30, SHGC 0.29, VLT 0.55, CPD PEL-N-18-02968-00001, Performance Class CW, PG 90, Calculated Positive DP

Rating 90, Calculated Negative DP Rating 90, Year Rated 08/11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20

3: Non-Standard SizeNon-Standard Size Fixed Frame

Frame Size: 35 5/8 X 23

General Information: Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.30, SHGC 0.29, VLT 0.55, CPD PEL-N-18-02968-00001, Performance Class CW, PG 90, Calculated Positive DP

Rating 90, Calculated Negative DP Rating 90, Year Rated 08/11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)

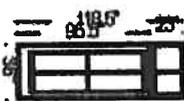
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length

= 380"

Rough Opening: 72" X 119"

Attributes

Line # Location:
110 4-Family



PK #
2058

Viewed From Exterior

Lifestyle, Inswing Door, Support Product, Direct Set Fixed Frame Rectangle, 36 X 118.5, Black

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$1,930.44 | 1 | \$1,930.44 |

1: 3696 Fixed Inswing Door

Frame Size: 36 X 95 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 7 7/8", 6 9/16", No Certification, Standard Sill, Black Finish Sill

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00004, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 08/11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W2H)

Horizontal Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20

2: Non-Standard Size Fixed Frame

Frame Size: 36 X 23

General Information: Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Performance Information: U-Factor 0.30, SHGC 0.29, VLT 0.55, CPD PEL-N-18-02968-00001, Performance Class CW, PG 90, Calculated Positive DP

Rating 90, Calculated Negative DP Rating 90, Year Rated 08/11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 309"

Rough Opening: 36 - 3/4" X 119"

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Line # Location:

Attributes

115 B-Family

Lifestyle, Double Hung, Lifestyle, Sash Set, 35.5 X 95, Black

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$1,184.84 | 2 | \$2,369.68 |



PK # 2056

Viewed From Exterior

1: 35.5/1.5 Double Hung, Equal

Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, Black, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 30, Calculated Positive DP

Rating 30, Calculated Negative DP Rating 30, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H/2W/1H)

Horizontal Mull 1: FactoryMull, 1/2" mullion for 3-9/16", Mull Design Pressure- 20

2: 35.5/23 Fixed Sash Set

Frame Size: 35 1/2 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 261"

Rough Opening: 36 - 1/4" X 95 - 3/4"

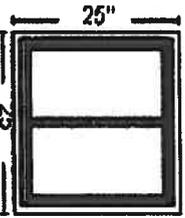
Line # Location:

Attributes

120 C-Study

Lifestyle, Sash Set Fixed, 25 X 25, Black

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$313.25 | 2 | \$626.50 |



PK # 2056

Viewed From Exterior

1: 25/25 Fixed Sash Set

Frame Size: 25 X 25

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification

Exterior Color / Finish: Seacoast Enduraclad, Black

Interior Color / Finish: Black Stain Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP

Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: SDL, No Custom Grille, 7/8", Traditional (2W/1H)

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 100"

Rough Opening: 25 - 3/4" X 25 - 3/4"

| Line # | Location: | Attributes | Item Price | Qty | Ext'd Price |
|--------|-----------|--------------------------|------------|-----|-------------|
| 125 | 2nd Floor | ***** Second Floor ***** | \$0.00 | 1 | \$0.00 |

| Line # | Location: | Attributes | Item Price | Qty | Ext'd Price |
|--------|--------------|--|------------|-----|-------------|
| 130 | G-Open Below | Lifestyle, Sash Set Fixed, 47 X 23, Black | \$395.32 | 1 | \$395.32 |



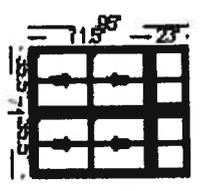
PK # 2058
 Viewed From Exterior
 1: 4723 Fixed Sash Set
 Frame Size: 47 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8" Traditional (2W/H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 140".

Rough Opening: 47 - 3/4" X 23 - 3/4"

Attributes

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|-----|-------------|
| 135 | B-2-Stair | \$2,693.36 | 1 | \$2,693.36 |

Lifestyle, 2-Wide Double Hung, Lifestyle, 2-Wide Sash Set, 71 X 95, Black



PK # 2058

Viewed From Exterior

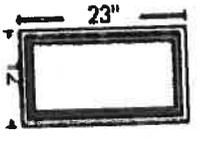
- 1: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00367-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20
- 2: 35.571.5 Double Hung, Equal
 Frame Size: 35 1/2 X 71 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00367-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Horizontal Mull 1: FactoryMull, 1/2" mullion for 3-9/16", Mull Design Pressure- 20
- 3: 35.523 Fixed Sash Set
 Frame Size: 35 1/2 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
 Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20
- 4: 35.523 Fixed Sash Set
 Frame Size: 35 1/2 X 23
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00688-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 332"

Rough Opening: 71 - 3/4" X 95 - 3/4"

Attributes

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|-----|-------------|
| 140 | H-Bed #4 | \$411.22 | 1 | \$411.22 |

Support Product, Direct Set Fixed Frame, 12 X 23, Black



PK #
2058

Viewed From Exterior

1: 1223 Fixed Frame
 Frame Size: 12 X 23
 General Information: Interior Glazed, Factory Assembled, Standard, Clad, Pine, 5", 3 11/16", No Certification
 Exterior Color / Finish: Painted, Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Performance Information: U-Factor 0.29, SHGC 0.32, VLT 0.62, CPD PEL-N-18-02773-00001, Performance Class CW, PG 90, Calculated Positive DP Rating 90, Calculated Negative DP Rating 90, Year Rated 08/11
 Grille: No Grille.
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 70".

Rough Opening: 12 - 3/4" X 23 - 3/4"

| Line # | Location: | Item Price | Qty | Ext'd Price |
|--------|-----------|------------|-----|-------------|
| 145 | A-Bed #4 | \$579.92 | 1 | \$579.92 |

Lifestyle, Double Hung, 35.5 X 59.5, Black



PK #
2058

Viewed From Exterior

1: 35.559.5 Double Hung, Equal
 Frame Size: 35 1/2 X 59 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 190".

Rough Opening: 36 - 1/4" X 60 - 1/4"

| Line # | Location: | Attributes |
|--------|-----------|------------|
|--------|-----------|------------|

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
|------------|-----|-------------|



Viewed From Exterior

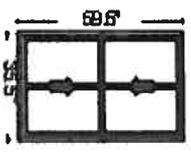
PK #
2058

Lifestyle, Double Hung, 35.5 X 59.5, Black

1: 35.559.5 Double Hung, Equal
 Frame Size: 35 1/2 X 59 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP
 Rating 35, Calculated Negative DP Rating 35, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 190".

Rough Opening: 36 - 1/4" X 60 - 1/4"

| Line # | Location: | Attributes |
|--------|-----------|------------|
|--------|-----------|------------|



Viewed From Exterior

PK #
2058

Lifestyle, Double Hung, 35.5 X 59.5, Black

1: 35.559.5 Double Hung, Equal
 Frame Size: 35 1/2 X 59 1/2
 General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Gray
 Exterior Color / Finish: Seacoast Enduraclad, Black
 Interior Color / Finish: Black Stain Interior
 Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, Matte Black, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Black, InView™
 Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00364-00001, Performance Class LC, PG 35, Calculated Positive DP
 Rating 35, Calculated Negative DP Rating 35, Year Rated 0811, Egress Meets Typical 5.7 sqft (E) (United States Only)
 Grille: SDL, No Custom Grille, 7/8", Traditional (2W1H / 2W1H)
 Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 190".

Rough Opening: 36 - 1/4" X 60 - 1/4"

| Item Price | Qty | Ext'd Price |
|------------|-----|-------------|
| \$579.92 | 1 | \$579.92 |

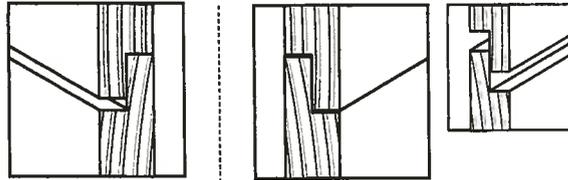
For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com



WINDSORONE
CRAFTSMANSHIP PAYS

SHIPLAP
AND NICKEL GAP

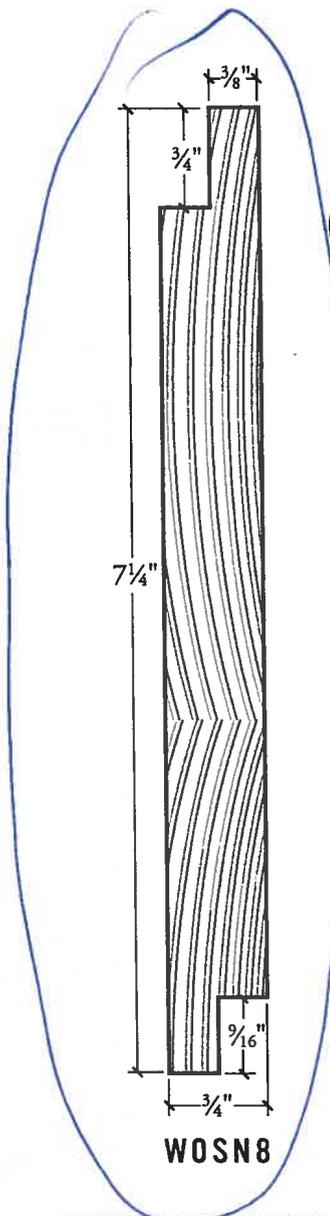
3/4
SCALE



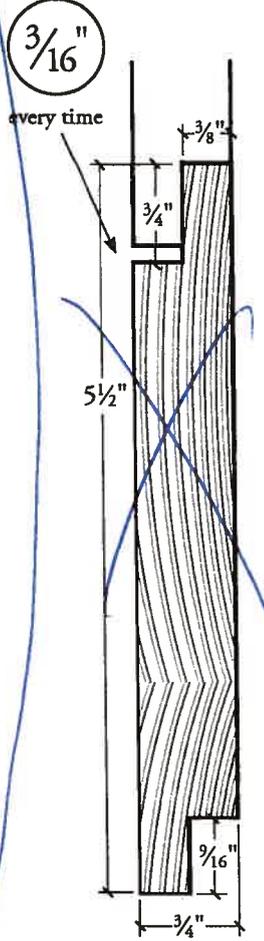
(SIZED UP) NICKEL GAP OR SHIPLAP (REVERSIBLE)

CONSISTENT 3/16"
GAP EVERYTIME
SMOOTH FINISH ONLY
TRADITIONAL

NO GAP OR CHOOSE
YOUR REVEAL (up to 1/2")
ROUGH OR SMOOTH
PROTECTED
(30yr warranty*)



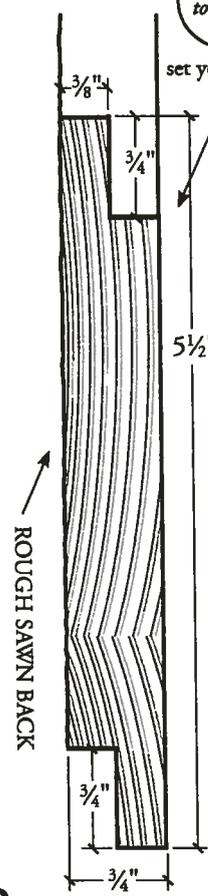
WOSN8



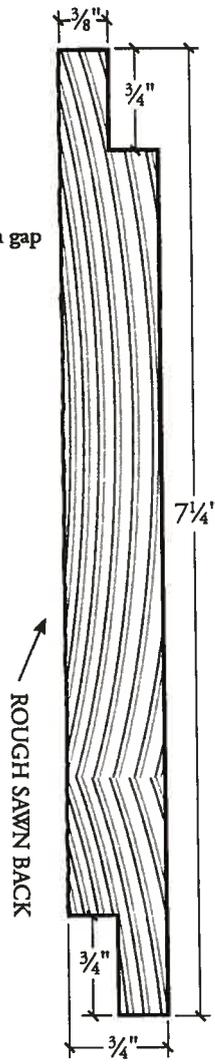
WOSN6

TR

30
YEAR



WORS6



WORS8

*Only Protected Boards have the 30 Year Warranty. It is based on proper installation, see WindsorONE.com/install or call 888.229.7900 for details.



1:1 scale
drawing

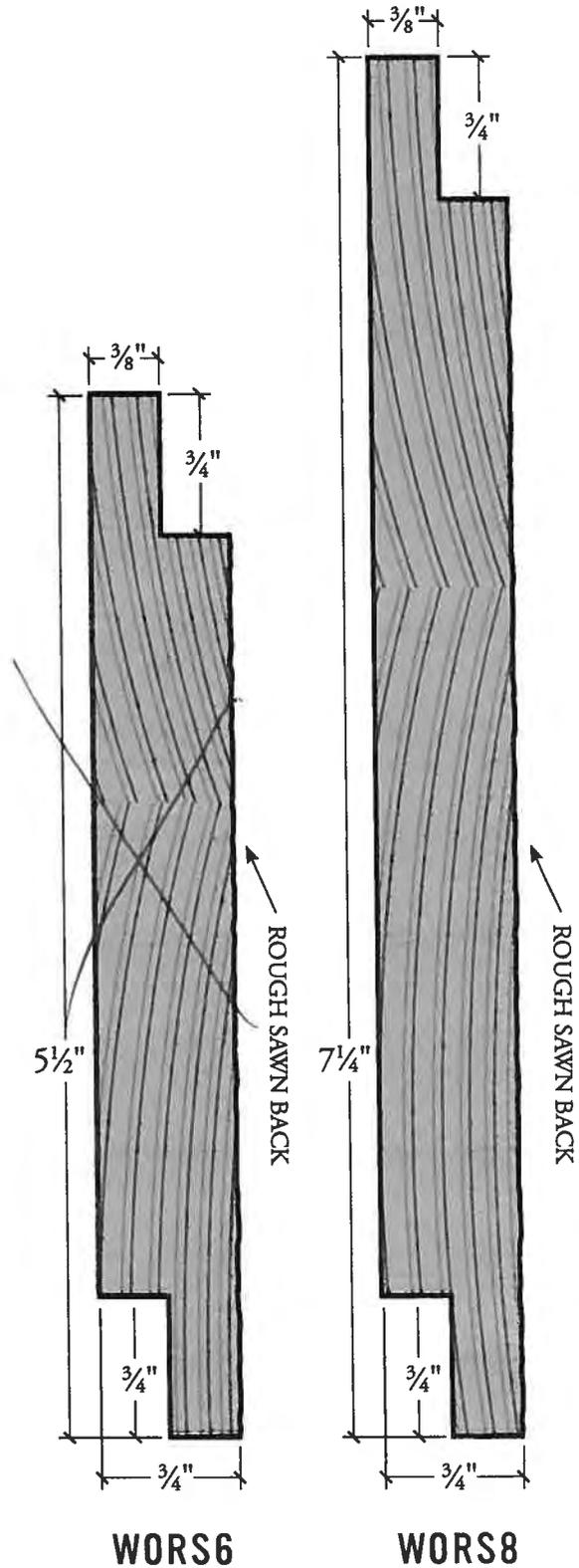
30
YEAR

REVERSIBLE

SHIPLAP

◆ PROTECTED / 30 YR WARRANTY*
protects against rot, insects & mold

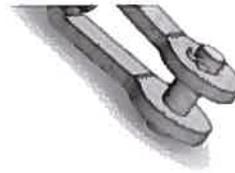
| PATTERN# | NOM. SIZE | NET SIZE | LENGTH |
|----------|-----------|---------------|--------|
| WORS6 | 1 x 6 | 3/4" x 5 1/2" | 16' |
| WORS8 | 1 x 8 | 3/4" x 7 1/4" | 16' |



*SEE FULL INSTALLATION INSTRUCTIONS. WindsorONE+ should be stored, installed, handled & maintained correctly for the best performance. For complete installation guidelines & the WindsorONE+ protected warranty, visit WindsorONE.com/install or call 888.229.7900.

737 South Point Blvd. Suite H, Petaluma CA 94954 | ph: 888.229.7900 | fax: 707.665.9698 | WindsorONE.com | A Windsor Mill Company



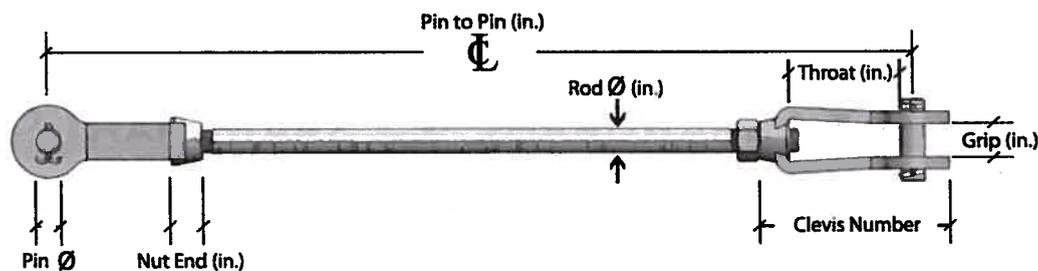


OVER WINDOW TRELLIS

Details

Fixed Length Tie Rod Assembly Configurator

The Fixed Length Tie Rod Assembly consists of a rod with a left hand threaded clevis on one end and a right hand threaded clevis on the other end.



Save

Print

How to Order

1. Stud Grades and Surface Coating

Stud Grade and Surface Coating may impact the lead time, and cost of a Tie Rod Assembly. If you need a grade not offered by this configurator, place your request in the notes section.

- **ASTM F1554-Grade 36** : Low carbon, 36 ksi yield steel.
- **ASTM F1554-Grade 55** : High strength, low alloy, 55 ksi yield steel.
- **ASTM F1554-Grade 105** : Alloy, heat treated, high strength 105 ksi yield steel.
- **ASTM A449 Type 1** - Plain carbon steel

4. Clevis Number

Compatible Clevis Number options are determined by your choice of rod diameter. In some cases you will receive multiple clevis size options. The larger the clevis the larger the grip will be.

5. Clevis Pin Ø (Diameter)

The Configurator will calculate the Maximum and Minimum Clevis Pin Diameters available for your Tie Rod Assembly. Please select a size from within that range and enter it into the text field below the

L00452



LEGEND

- 99 - EXISTING CONTOUR
 - X 99.7 EXIST. SPOT ELEV.
 - [99]- PROPOSED CONTOUR
 - [98.4] PROPOSED SPOT EL.
 - TH1 TEST HOLE
 - 2% SLOPE OF GROUND
 - UTILITY POLE
 - FIRE HYDRANT
- NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING

LANDSCAPE KEY

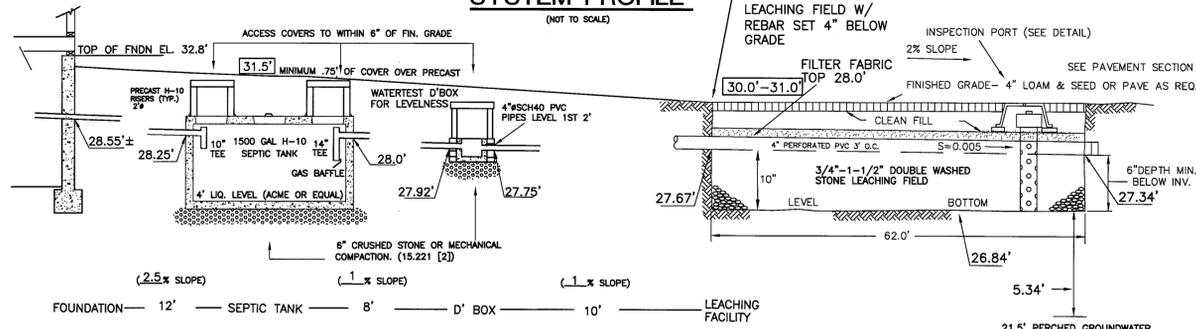
- DRIVEWAY LIGHT
- Hydrangea macrophylla 'Nikko Blue'
- Nikko Blue Hydrangea-blue mophead
- Ilex glabra 'Shamrock'
- Shamrock Inkberry-compact

SYSTEM DESIGN:

GARBAGE DISPOSER IS NOT ALLOWED
 DESIGN FLOW: 5 BEDROOMS @ 110 GPD = 550 GPD
 USE A 550 GPD DESIGN FLOW
 SEPTIC TANK: 550 GPD (2) = 1100
 USE A 1500 GAL. SEPTIC TANK
 LEACHING:
 550 GPD (.74) = 744 SF REQUIRED
 12' X 62' = 744 SF OK
 744 SF X .74 = 550 GPD OK
 USE A 12' X 62' PIPE AND STONE LEACHING FIELD

APPROVED _____ DATE _____ BOARD OF HEALTH _____, MA

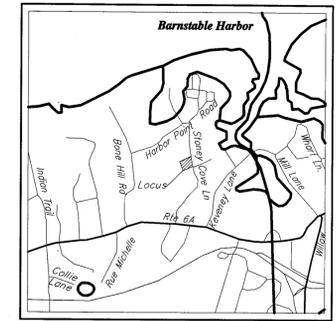
SYSTEM PROFILE



*THE INSTALLER SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND ALL BUILDING SEWER OUTLETS AND ELEVATIONS PRIOR TO INSTALLING ANY PORTION OF SEPTIC SYSTEM

NOTES

1. DATUM IS NAVD 88
2. MUNICIPAL WATER IS EXISTING
3. MINIMUM PIPE PITCH TO BE 1/8" PER FOOT.
4. DESIGN LOADING FOR ALL PROPOSED PRECAST UNITS TO BE AASHO H-10
5. PIPE JOINTS TO BE MADE WATERTIGHT.
6. CONSTRUCTION DETAILS TO BE IN ACCORDANCE WITH 310 CMR 15.000 (TITLE 5.)
7. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
8. PIPE FOR SEPTIC SYSTEM TO SCH. 40-4" PVC.
9. COMPONENTS NOT TO BE BACKFILLED OR CONCEALED WITHOUT INSPECTION BY BOARD OF HEALTH AND PERMISSION OBTAINED FROM BOARD OF HEALTH.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
11. ANY UNSUITABLE MATERIAL ENCOUNTERED SHALL BE REMOVED BENEATH AND 5' AROUND THE PROPOSED LEACHING FACILITY.
12. ALL ROOF RUNOFF TO BE DIRECTED TO ROOF DRYWELLS.



LOCUS MAP

NOT TO SCALE SCALE 1"=2000'±
 ASSESSORS MAP 351 PARCEL 7-1
 LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON COMMUNITY PANEL #25001C0559J DATED 7/16/2014

ZONING SUMMARY

ZONING DISTRICT: RF-1 RESIDENTIAL DISTRICT
 MIN. LOT SIZE 43,560 S.F.
 MIN. LOT FRONTAGE 20'
 MIN. LOT WIDTH 125'
 MIN. FRONT SETBACK 30'
 MIN. SIDE SETBACK 15'
 MIN. REAR SETBACK 15'
 MAX. BUILDING HEIGHT 30'

OWNER OF RECORD

JEFFREY & ANNE BELLION
 131 LEWIS ROAD
 WEST YARMOUTH, MA 02673

REFERENCES

CERT. 209430
 LCP 36122-C

| DEPTH | SOILS | PERC. RATE |
|-------|-------------------------|------------|-------|-------------------------|------------|-------|-------------------------|------------|-------|-------------------------|------------|
| 0" | A LS | 10YR 4/1 | 0" | A LS | 10YR 4/1 | 0" | A LS | 10YR 4/2 | 0" | A LS | 10YR 4/2 |
| 12" | B SL | 10YR 6/6 | 14" | B SL | 10YR 6/6 | 11" | B SL | 10YR 6/6 | 12" | B SL | 10YR 6/6 |
| 30" | C1 SIL | 2.5Y 6/2 | 38" | C1 SIL | 2.5Y 7/1 | 28" | C1 SIL | 2.5Y 6/1 | 36" | C SIL | 2.5Y 6/1 |
| 72" | C2 LS W/ POCKETS OF SIL | 2.5Y 5/3 | 78" | C2 LS W/ POCKETS OF SIL | 2.5Y 5/3 | 48" | C2 LS W/ POCKETS OF SIL | 2.5Y 5/4 | 144" | C2 LS W/ POCKETS OF SIL | 2.5Y 5/4 |
| 138" | | | 138" | | | 138" | | | 144" | | |

TEST HOLE LOGS 1-5

ENGINEER: DANIEL E. GONSALVES, SE #13587
 WITNESS: DAVID STANTON, RS
 DATE: 8/10/15 & 8/28/15
 PERC. RATE = < 5 MIN/INCH
 CLASS I SOILS P# 14780

TEST HOLE LOGS A-C

ENGINEER: DANIEL A. OJALA, SE #1805
 WITNESS: DON DESMARAIS, RS
 DATE: 5/11/2020
 PERC. RATE = < 5 MIN/INCH
 CLASS I SOILS P# 20-86

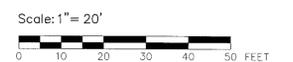
| DEPTH | SOILS | PERC. RATE | DEPTH | SOILS | PERC. RATE | DEPTH | SOILS | PERC. RATE |
|-------|-----------------------|------------|-------|-----------------------|------------|-------|-------|------------|
| 0" | A LS | 10YR 3/2 | 0" | A LS | 10YR 3/2 | 0" | A LS | 10YR 3/2 |
| 12" | B LS | 10YR 6/4 | 12" | B LS | 10YR 6/4 | 12" | B LS | 10YR 6/4 |
| 48" | C MS W/ LAYERS OF FLS | 2.5Y 7/6 | 48" | C MS W/ LAYERS OF FLS | 2.5Y 7/6 | 42" | C SIL | 2.5Y 6/1 |
| 168" | | | 20.0' | | | 14.0' | | |

SITE/LANDSCAPE PLAN

OF
167 STONEY COVE LANE
BARNSTABLE, MA

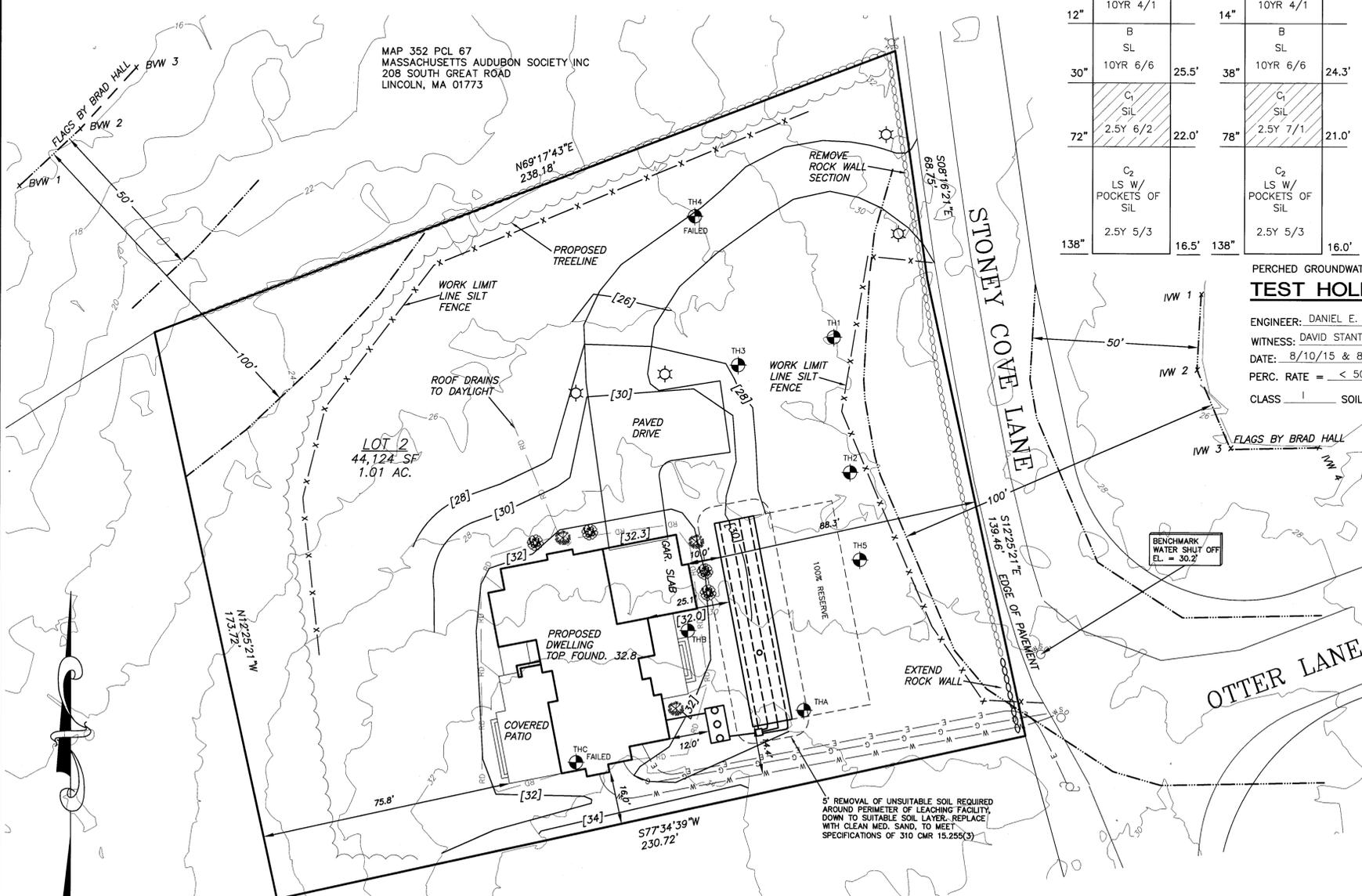
PREPARED FOR
ANDRE LIMARINO

DATE: MAY 22, 2020

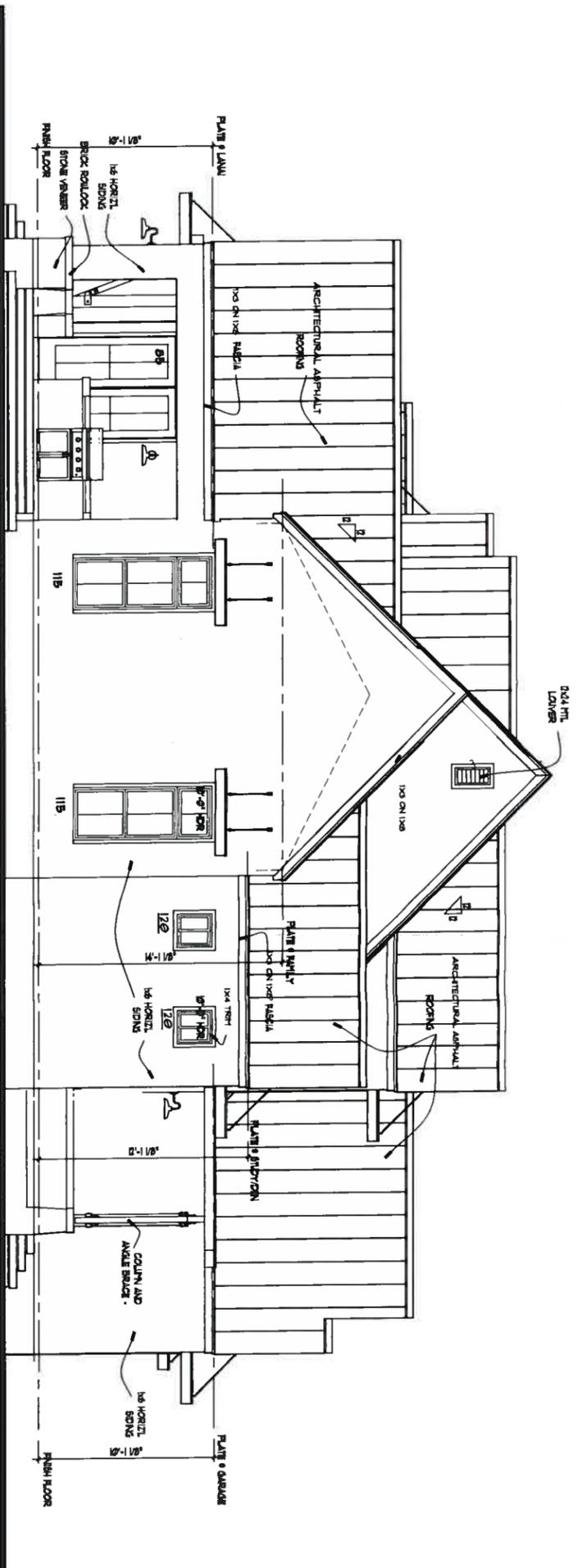


5/22/2020 [Signature]
 DATE DANIEL A. OJALA, P.E., P.L.S.

off 508-362-4541
 fax 508-362-9880
 downcape.com @
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675



MAP 351 PCL 7-2
 MASSACHUSETTS AUDUBON SOCIETY INC
 208 SOUTH GREAT ROAD
 LINCOLN, MA 01773



LEFT ELEVATION

SCALE 1/4" = 1'-0"

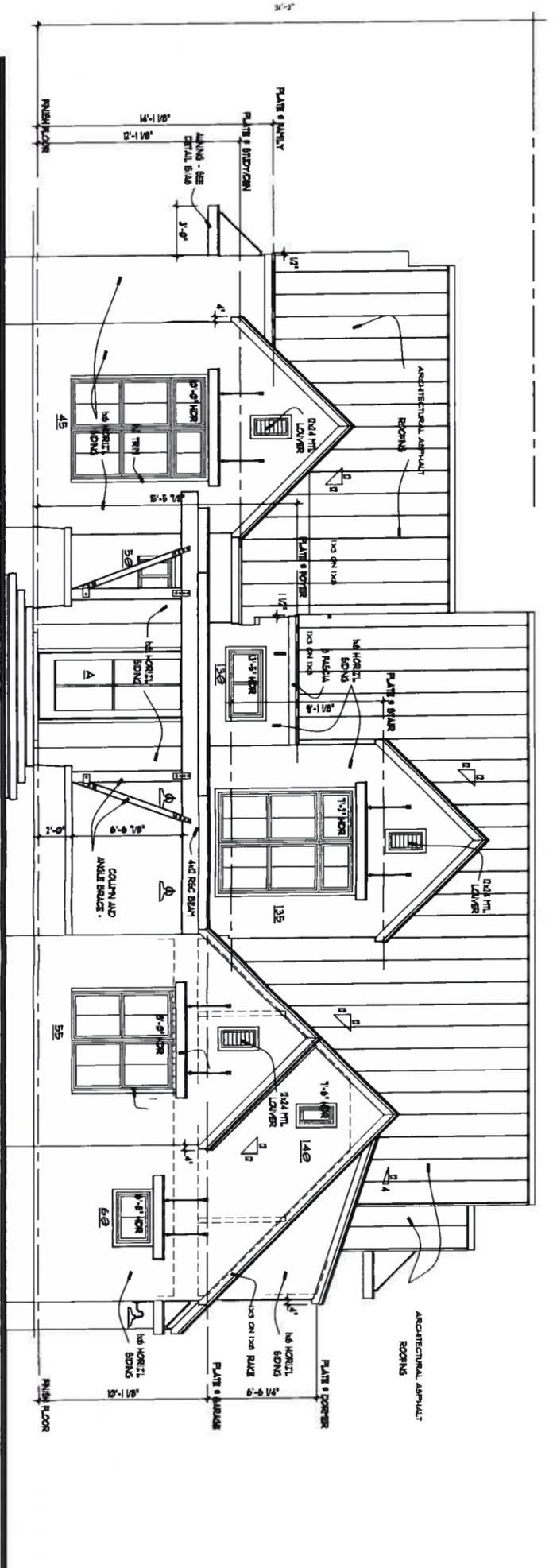
WINDOWS / DOORS SCHEDULE

FRONT ELEVATION

- A 48 X 96
- 4B 11 3/4 X 95 3/4
- 4C 23 3/4 X 23 3/4
- 5B 11 3/4 X 17 1/4
- 6C 35 3/4 X 23 3/4
- 13C 47 3/4 X 23 3/4
- 13B 11 3/4 X 95 3/4
- 14C 12 3/4 X 23 3/4

LEFT ELEVATION

- 8B 12 X 80
- 11B 36 1/4 X 95 3/4
- 12C 28 3/4 X 23 3/4



FRONT ELEVATION

SCALE 1/4" = 1'-0"



DAVID E. WIGGINS
ARCHITECT
 A PROFESSIONAL LIMITED LIABILITY CORPORATION

PO Box 256 - Magnolia, Texas - 77353
 (832) 521-5820

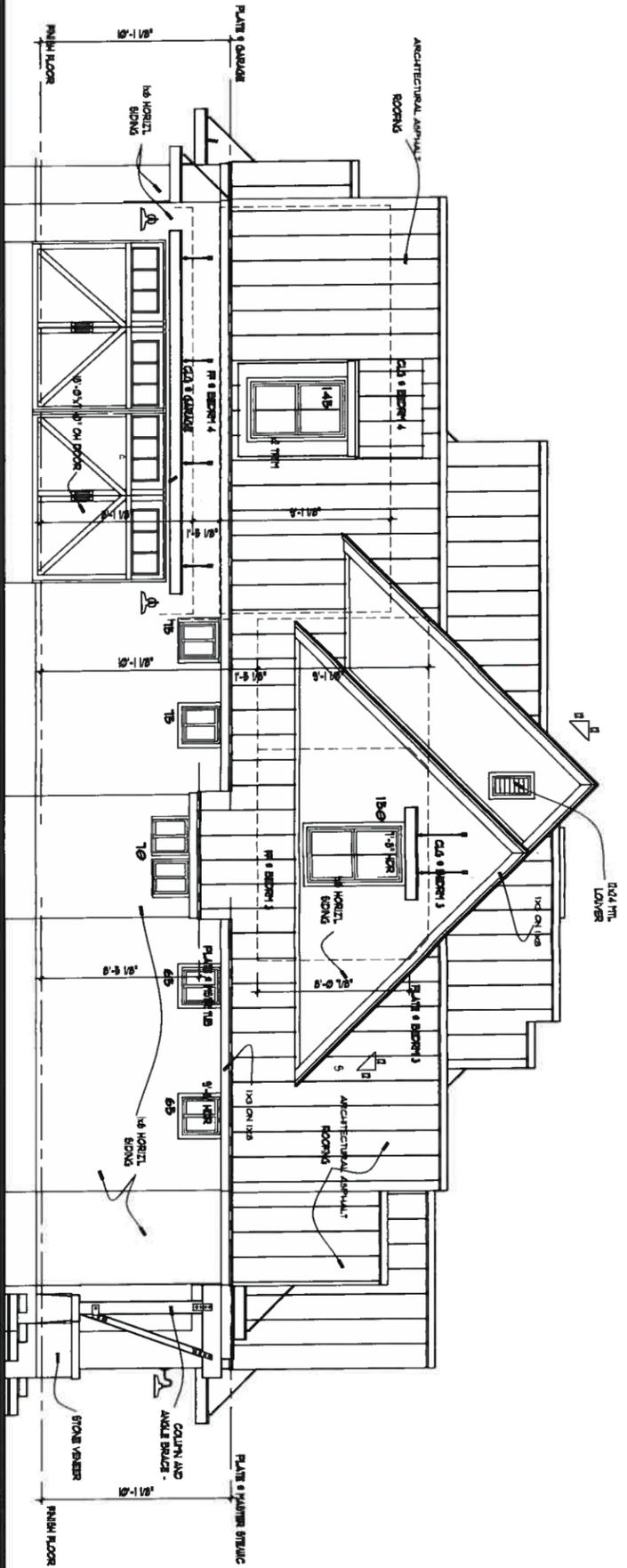
PROJECT: Andre & Adriana Limarino - 161 Stoney Cove Lane - Cummaquid, MA

REVISIONS:

DATE:

NOVEMBER 28, 2018

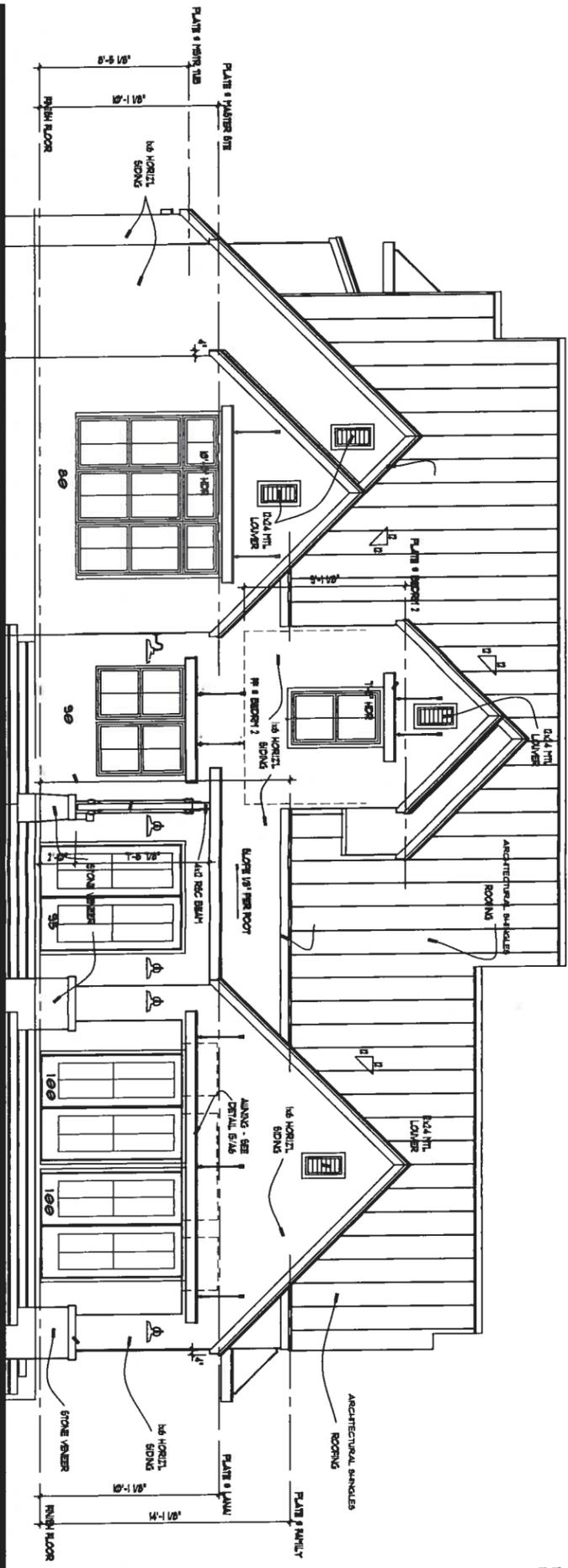




RIGHT ELEVATION
SCALE 1/4" = 1'-0"

WINDOWS / DOORS SCHEDULE

| | | |
|------------------------|-----|------------------|
| RIGHT ELEVATION | 14B | 36 1/4 X 60 1/4 |
| | 15B | 36 1/4 X 60 1/4 |
| | 15 | 36 1/4 X 60 1/4 |
| | 17B | 25 3/4 X 25 3/4 |
| | 19 | 60 3/4 X 25 3/4 |
| | 65 | 23 3/4 X 23 3/4 |
| REAR ELEVATION | 90 | 107 1/4 X 35 3/4 |
| | 90B | 71 3/4 60 1/4 |
| | 95 | 72 X 90 |
| | 100 | 72 X 115 |
| | 105 | 36 1/4 X 60 -1/4 |



REAR ELEVATION
SCALE 1/4" = 1'-0"



DAVIDE E. WIGGINS
ARCHITECT
A PROFESSIONAL LIMITED LIABILITY CORPORATION

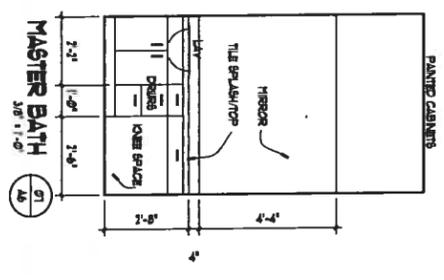
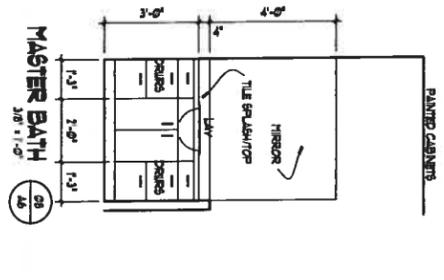
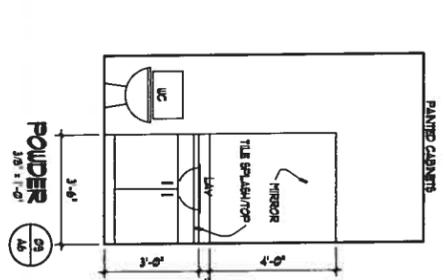
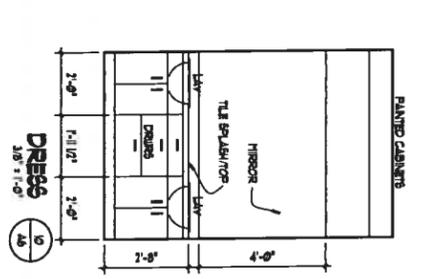
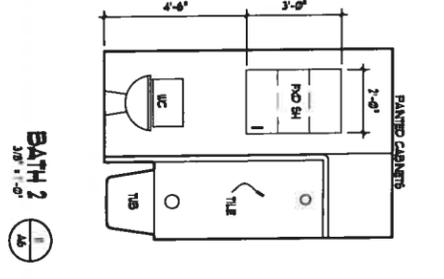
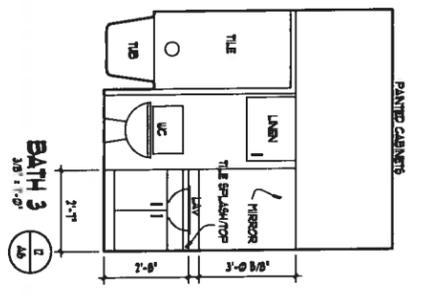
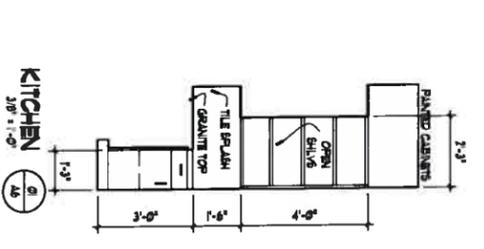
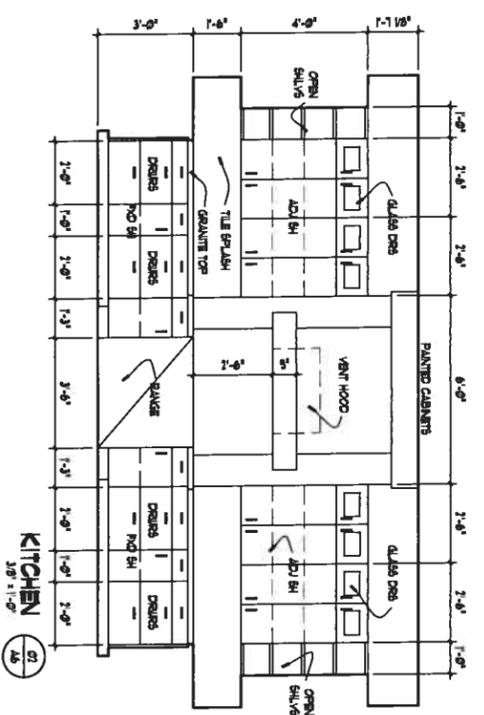
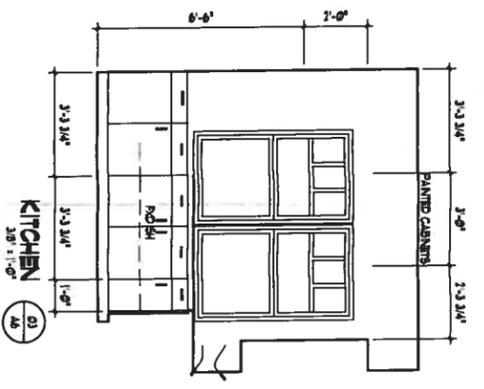
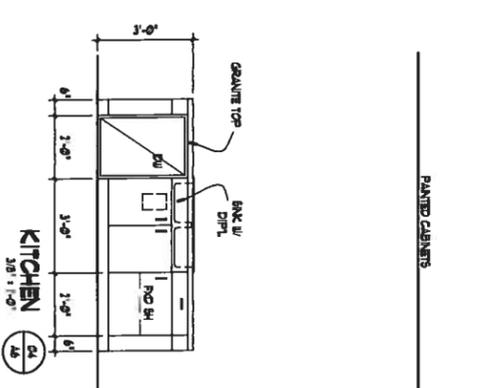
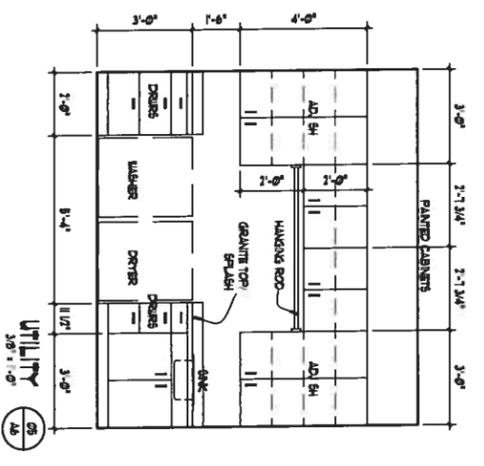
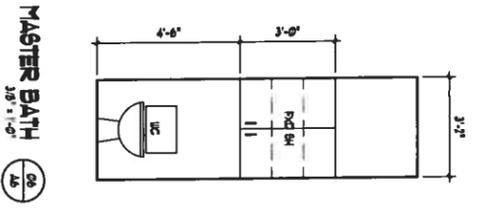
PO Box 256 - Magnolia, Texas - 77353
(832) 521-5820

PROJECT: Andre & Adriana Limarino - 167 Stoney Cove Lane - Cummaquid, MA

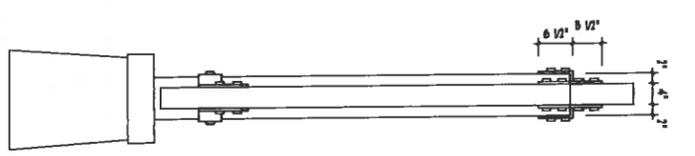
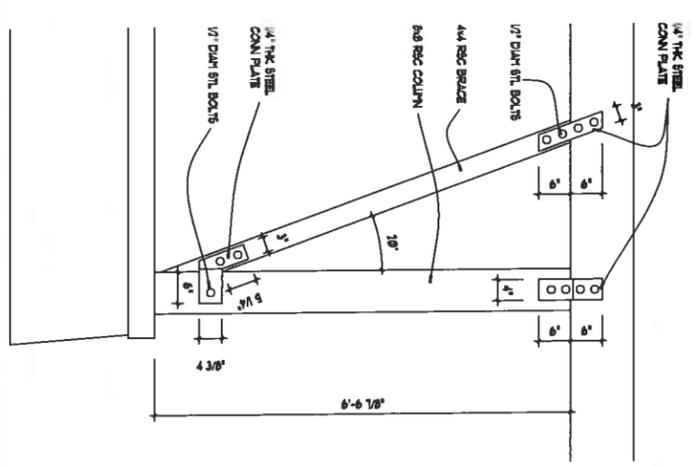
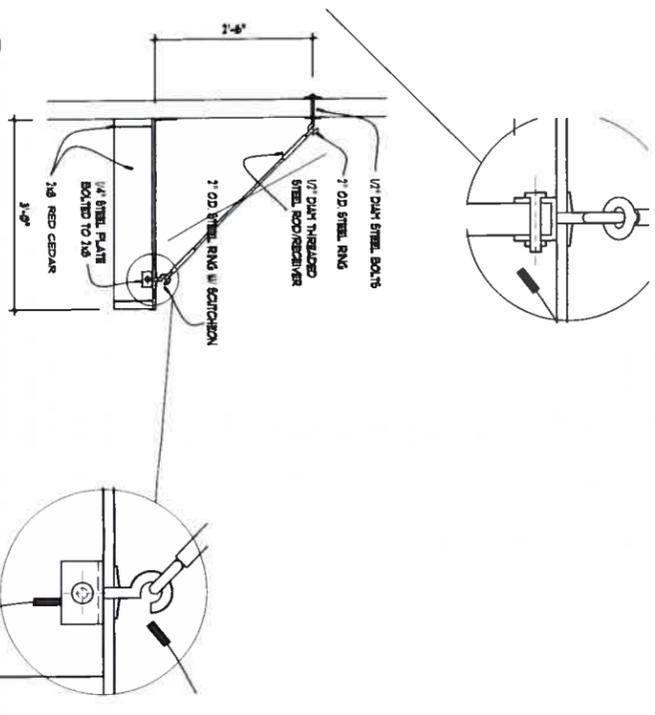
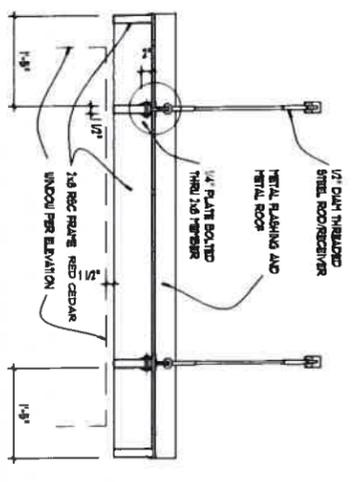
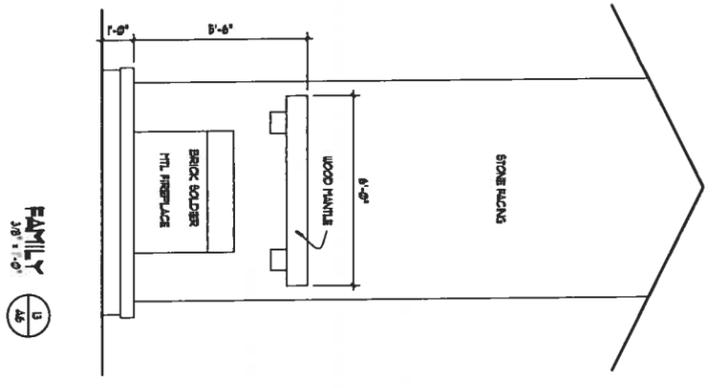
REVISIONS: _____

DATE: _____





CABINET ELEVATIONS
SCALE 3/8" = 1'-0"



BARNSTABLE TOWN CLERK
2020 MAY 29 PM 3:03



Barnstable Old Kings Highway Historic District Committee

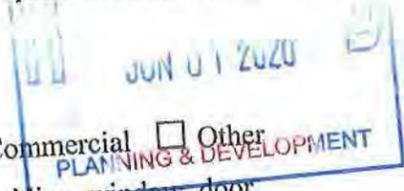
200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply:

- 1. Building construction: New Addition Alteration
- 2. Type of Building: House Garage/barn Shed Commercial Other
- 3. Exterior Painting, roof: new roof color/material change, of trim, siding, window, door
- 4. Sign: New Sign Existing Sign Repainting Existing Sign
- 5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
- 6. Pool: Swimming Other man-made pool Solar panels Other



Type or Print Legibly: Date 5/29/2020

NOTE: All applications must be signed by the current owner

Owner (print): McCullough Family Trust Telephone #: 407-719-3303
Address of Proposed Work: 3861 Main Street (Route 6B) Barnstable Map Lot # 335/008/002

Mailing Address (if different): 4926 Indian Deer Rd., Windermere, FL 34786

Owner's Signature: Gaura H. McCullough, Trustee & M, Trustee

Description of Proposed Work: Give particulars of work to be done: Raise current roof line to add second story to right side of house, add garage, remove existing shed to side of house, which will be replaced by additional room and 2nd story space above.

Agent or Contractor (print): Owner E. Timothy McCullough, Trustee Telephone #: 407-719-3303
Address: 3861 Main Street, Barnstable, MA 02630

Contractor/Agent signature: Owner E. Timothy McCullough, Trustee, Gaura H. McCullough, Trust

This Certificate is hereby APPROVED / DENIED

For committee use only

Date _____ Members signatures _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) concrete

Siding Type: Clapboard shingle other
Material: red cedar white cedar other stained shingles Color: gray

Chimney Material: stucco Color: white

Roof Material: (make & style) Certain tead landmark Architectural asphalt shingles Color: dark gray

Roof Pitch(s): (7/12 minimum) 9/12, 10/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify PVC

Size of cornerboards 1x5/1x6 size of casings (1 X 4 min.) 1x5 color white

Rakes 1st member 1x6 2nd member 1x2 Depth of overhang no overhang

Window: (make/model) Andersen 400 series material vinyl color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: _____ material _____ Color: _____

Garage Door, Style see elevation Size of opening 9'x8' Material wood Color light gray

Shutter Type/Style/Material: match existing Color: black

Gutter Type/Material: K-style aluminum Color: white

Deck material: wood other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - CONTINUED

Plans shall include the following:

- Name of applicant, street location, map and parcel.
- Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- A written and bar drawn scale
- Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- Window schedule on plans.
- Landscaping plan, 5 copies drawn on a certified perimeter plan containing the following information:
 - Name of applicant, street address, assessor's map and parcel number.
 - Name address and telephone number of the plan preparer, plan date, & dates of revisions
 - The location of existing and proposed buildings and structures, and lot lines.
 - Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
 - Existing buffer areas to remain.
 - Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
 - The location, number, size and name of proposed new trees and plants.
 - Driveway, parking areas, walkways, and patios indicating materials to be used.
 - Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
 - All proposed exterior lighting and signs.
- Sketch or photos of adjacent properties, (1 copy only)
 - A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- Photographs of all sides of existing buildings to remain, or being added to .

Please complete the following:

Existing building, foot print:

Building 1 1617 sq. ft. Building 2 _____

Existing Building, gross floor area, including area of finished basement:

Building 1 2159 sq. ft. Building 2 _____

New building or addition, foot print:

Building 1 860 sq. ft. Building 2 _____

New Building or addition, gross floor area, including area of finished basement:

Building 1 1348 sq. ft. Building 2 _____

including new garage 599 sq. ft.

TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

400 SERIES

400 Series
Tilt-Wash Double-Hung
Full-Frame Windows

SECTION REFERENCE

| | |
|---|-------|
| Table of Sizes..... | 86-89 |
| Specifications | 87-91 |
| Grille Patterns | 92 |
| Window Details | 92-93 |
| Joining Details..... | 93 |
| Conversion Kits & Combination Units..... | 94 |
| Combination Designs..... | 255 |
| Performance Data..... | 267 |
| Warranty..... | 287 |

TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

Frame

A Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding, minimizing maintenance and providing an attractive appearance.

B For exceptionally long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior. Sill ends are protected and sealed with weather-resistant covers.

C Natural wood stops are available in pine and prefinished White.

D A factory-applied rigid vinyl anchoring flange on the head, sill and side of the outer frame helps secure the unit to the structure.

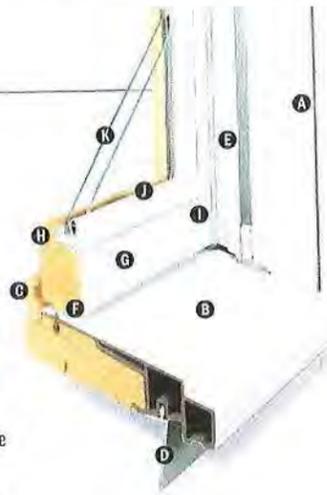
E An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Exclusive slide wash assists make it easy to tilt sash into wash mode position.

Jamb liners available in white or gray and must be specified when ordering. Contact your Andersen supplier for details.



F Weatherstripping throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an encased foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstripping material compresses against. At the check rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstripping with foam inserts.

Unique block-and-tackle counterbalances feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. They automatically lock the balancer into position when sash are tilted into wash mode.



Sash

G A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

H Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished White interiors are also available.

I Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

Glass

J Silicone bed glazing provides superior weathertightness and durability.

K High-performance glass options include:

- Low-E4® glass
- Low-E4® SmartSun™ glass
- Low-E4® Sun glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

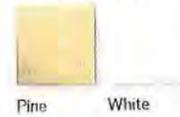
Patterned glass options are available. See page 10 for more details.

EXTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one-of-a-kind. All wood interiors are unfinished unless prefinished White is specified.

INTERIOR



HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

DOUBLE-HUNG HARDWARE

STANDARD Lock & Keeper



Black | Gold Dust
Stone | White

ESTATE™ Lock & Keeper



Antique Brass | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | **Satin Nickel**

Stone is standard with natural interior units. White finish comes with prefinished White interiors. Other finishes optional.

Optional Estate lock & keeper reduces the clear opening height by 3/8" (14). Check with local building code officials to determine compliance with egress requirements.

OPTIONAL DOUBLE-HUNG LIFT HARDWARE†

ESTATE™

Hand Lift

Finger Lifts



Antique Brass | Bright Brass | Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze | Polished Chrome | **Satin Nickel**

TRADITIONAL

Hand Lift

Finger Lifts

Bar Lift



Antique Brass | Bright Brass | Brushed Chrome | **Oil Rubbed Bronze**
Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™

Hand Lift

Finger Lifts

Sash Lift



Stone | White
Bold name denotes finish shown.

* Visit andersenwindows.com/warranty or see your Andersen supplier for details on the 400 Series Limited Warranty.

† See your Andersen supplier for availability.

‡ Hardware sold separately.

Dimensions in parentheses are in millimeters.

"Flexacron" is a registered trademark of PPG Industries, Inc.

Painting limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.



TECHNICAL DATA SHEET

Project Name Catalog #
 Comments Date

42W Wall-Mounted LED Barn Light

Benefits

- Over 50,000+ Hours L70 Rated, Save on maintenance, and Electricity Cost
- Easy installation, Comes with a Secure Wall-Mounting Plate, 54in. Wire
- Instant-On, No Humming, No Flickering
- Rated Operating Temperature -40°F + 122°F
- ETL/cETL & Energy Star Rated
- May Order With or Without Photocell
- Suitable for Outdoor and Wet Locations
- 5 Year HTM Lighting Solutions Warranty



Specifications

| | |
|-------------------------|----------------------------------|
| SKU | HTM-BS14-GN15-42W-30ZZ-BLK/BZ |
| Power | 42W |
| Voltage Input | 100-277VAC |
| Lumen Output | 3800 lm |
| Color Temperature | 3000K |
| CRI | >80 |
| Operating Temperature | -40°F + 122°F |
| Warranty | 5 Year Warranty |
| Lumen Maintenance (L70) | 50,000+ Life Hours Rated |
| Product Dimensions | 15.70" x 14.20" x 13.20" (LxWxH) |



Applications



▶ PHOTOCELL INCLUDED

3,800 LUMENS CRI>80 42W AT 95LM/W



HTM Lighting Solutions
 6420 Benjamin Road,
 Tampa, FL 33634

sales@htm-lighting.com
 Rev: V0717

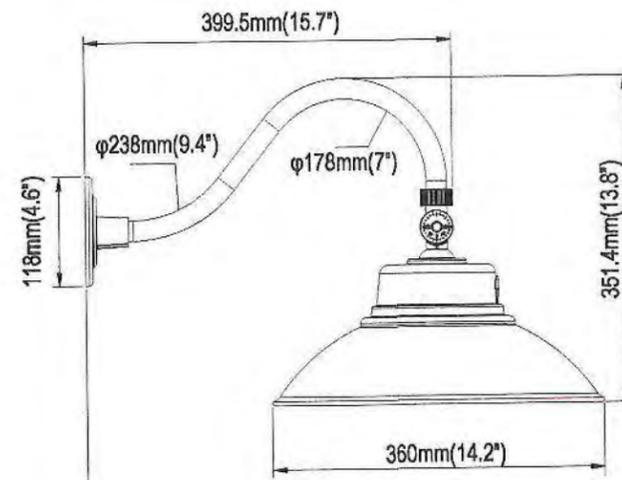
Tel: +1 (813) 649-8899
 Fax: +1 (813) 425-9007
 www.htm-lighting.com

TECHNICAL DATA SHEET

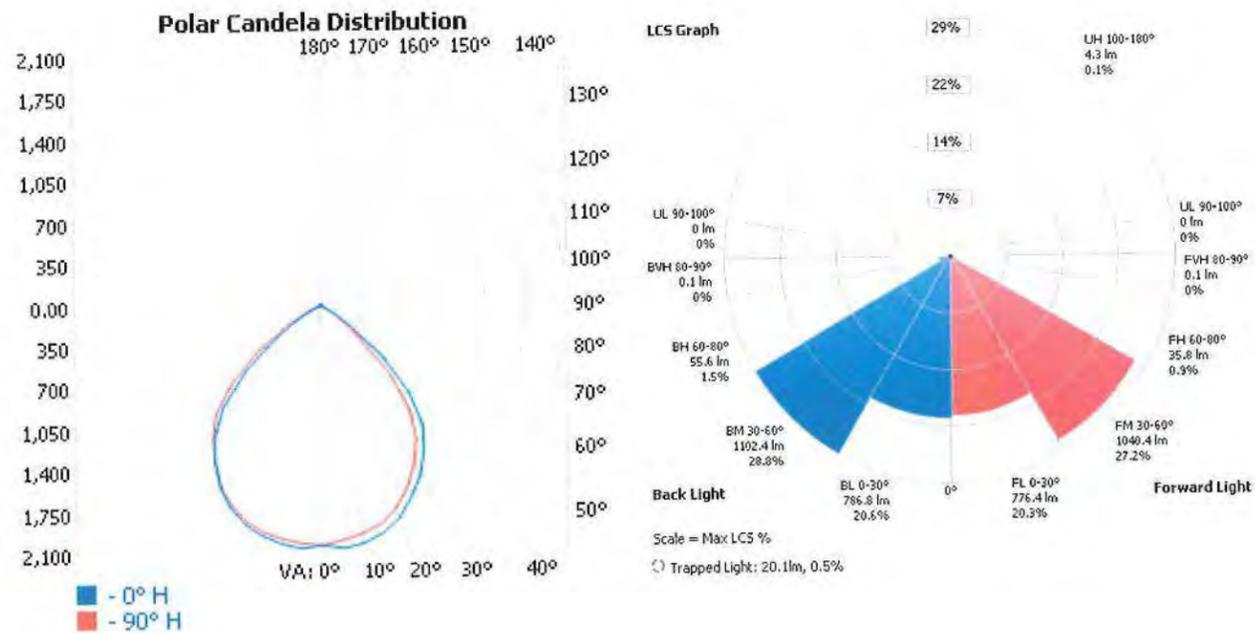
Project Name Catalog #
 Comments Date

42W Wall-Mounted LED Barn Light

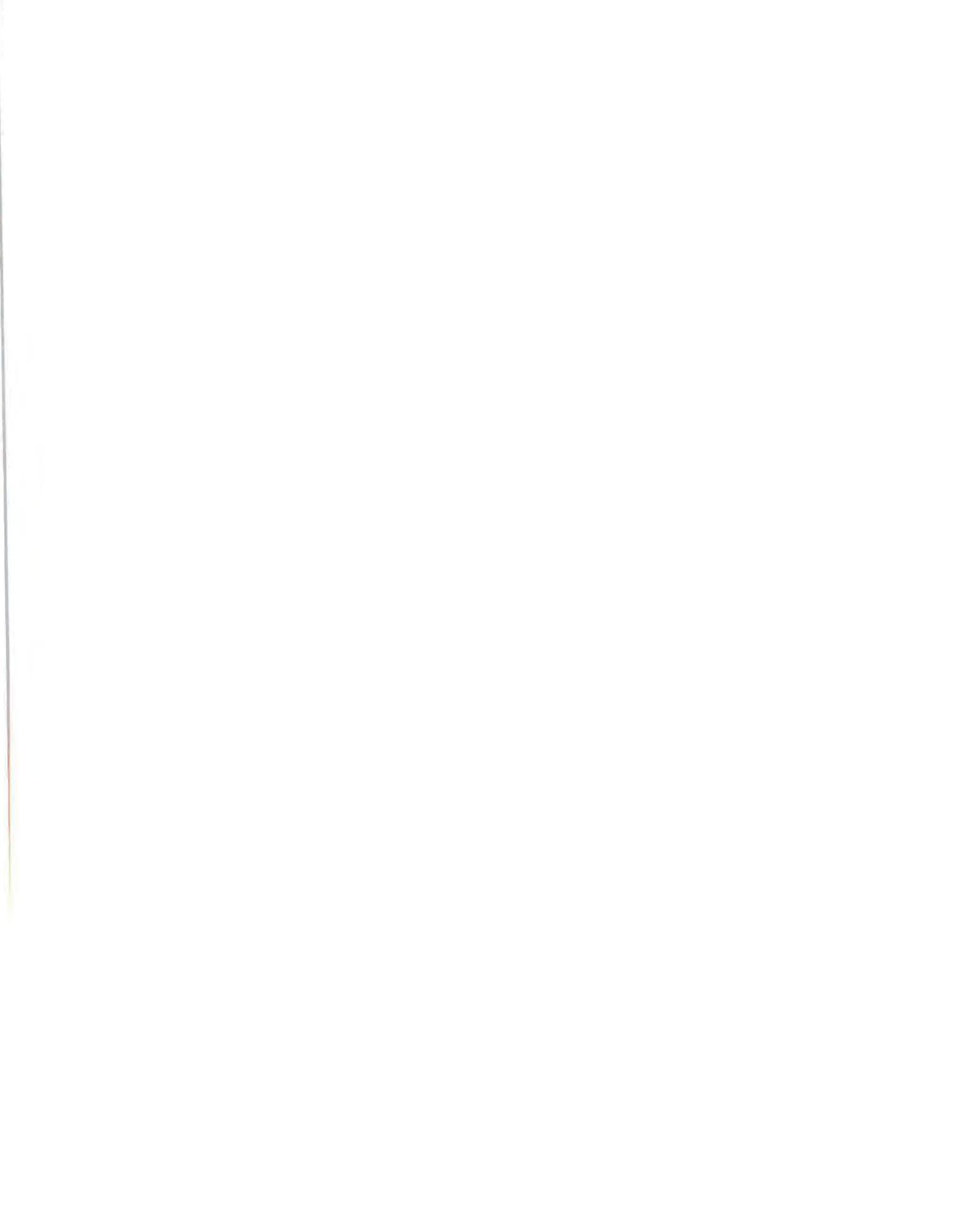
Dimensions

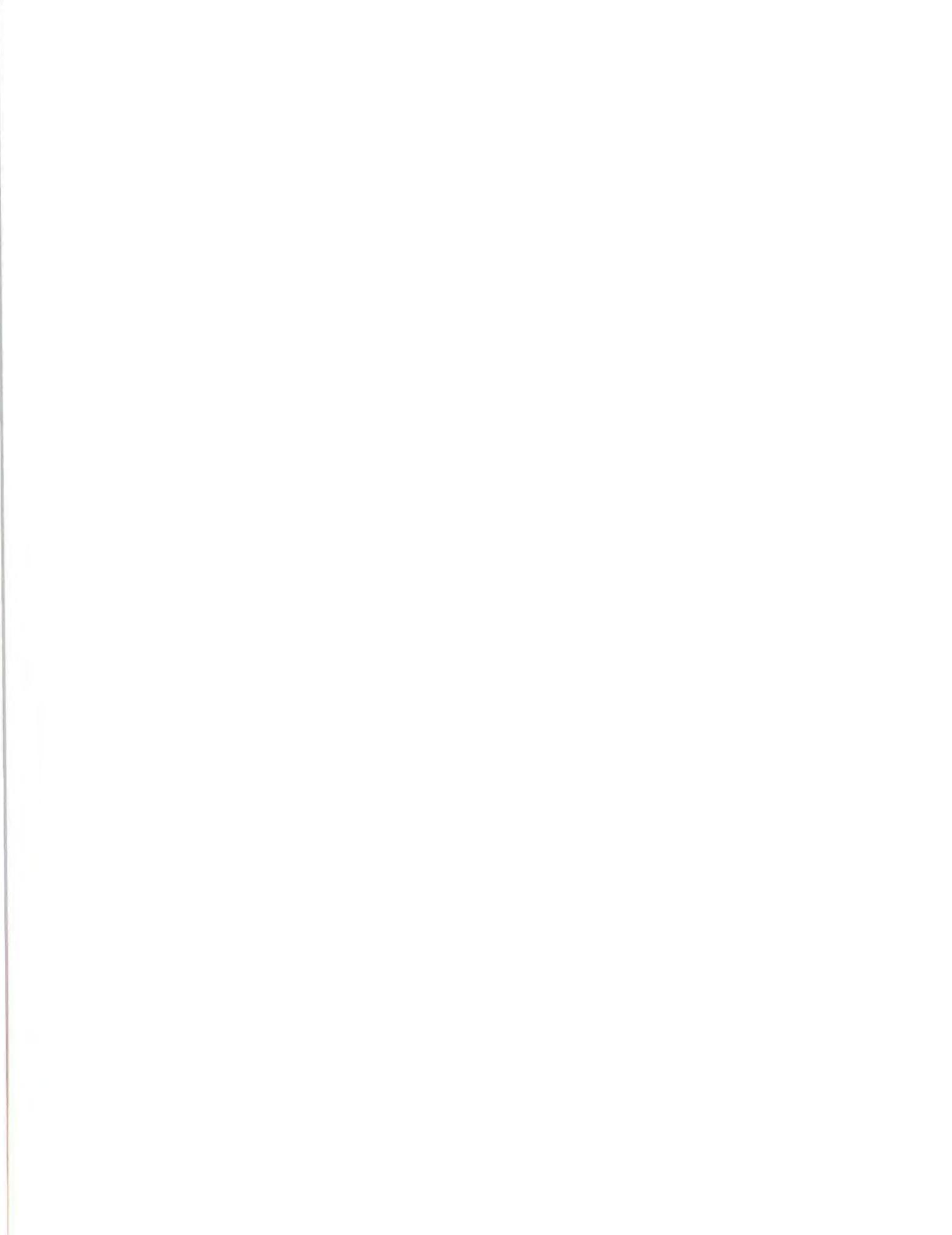


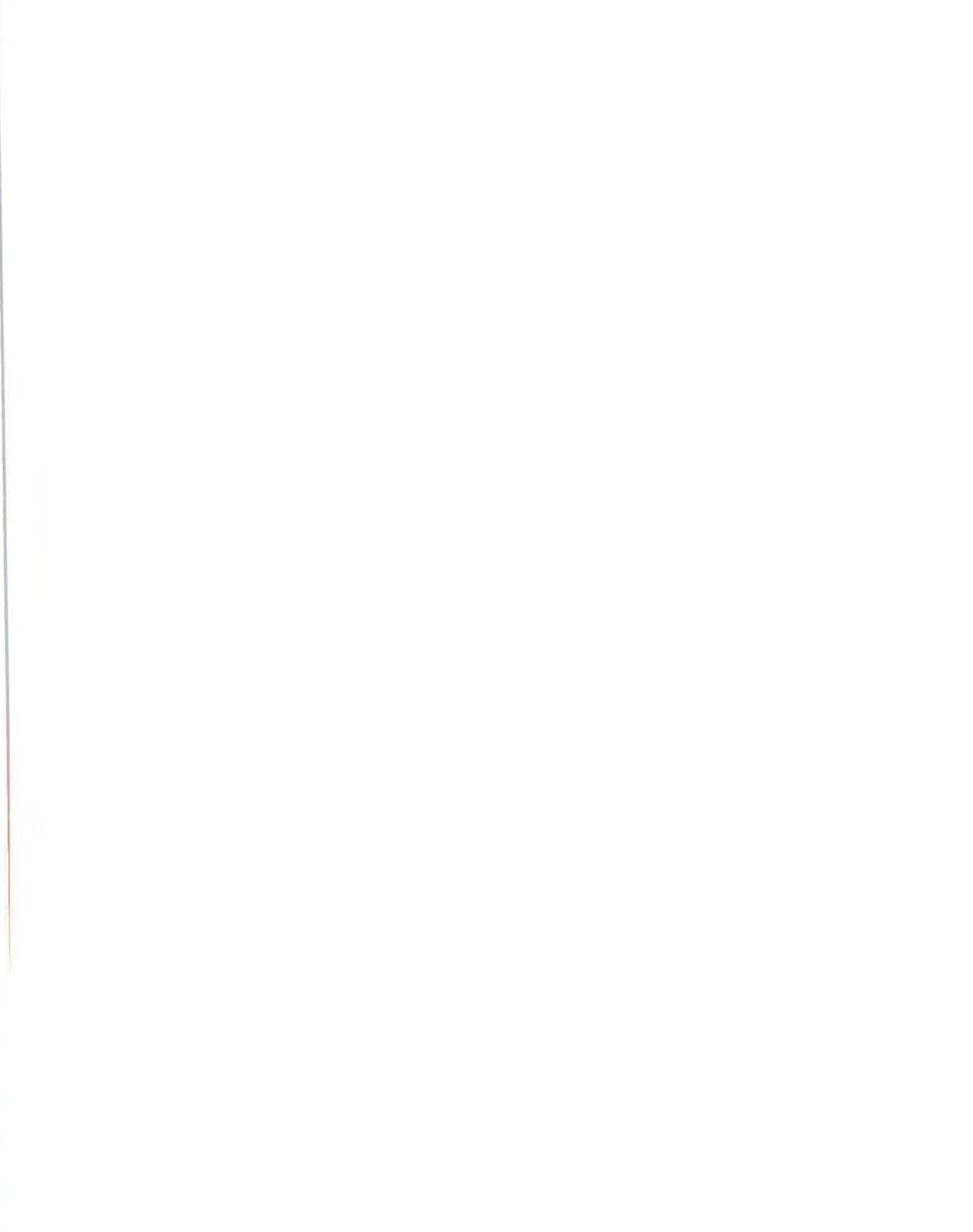
Photometrics

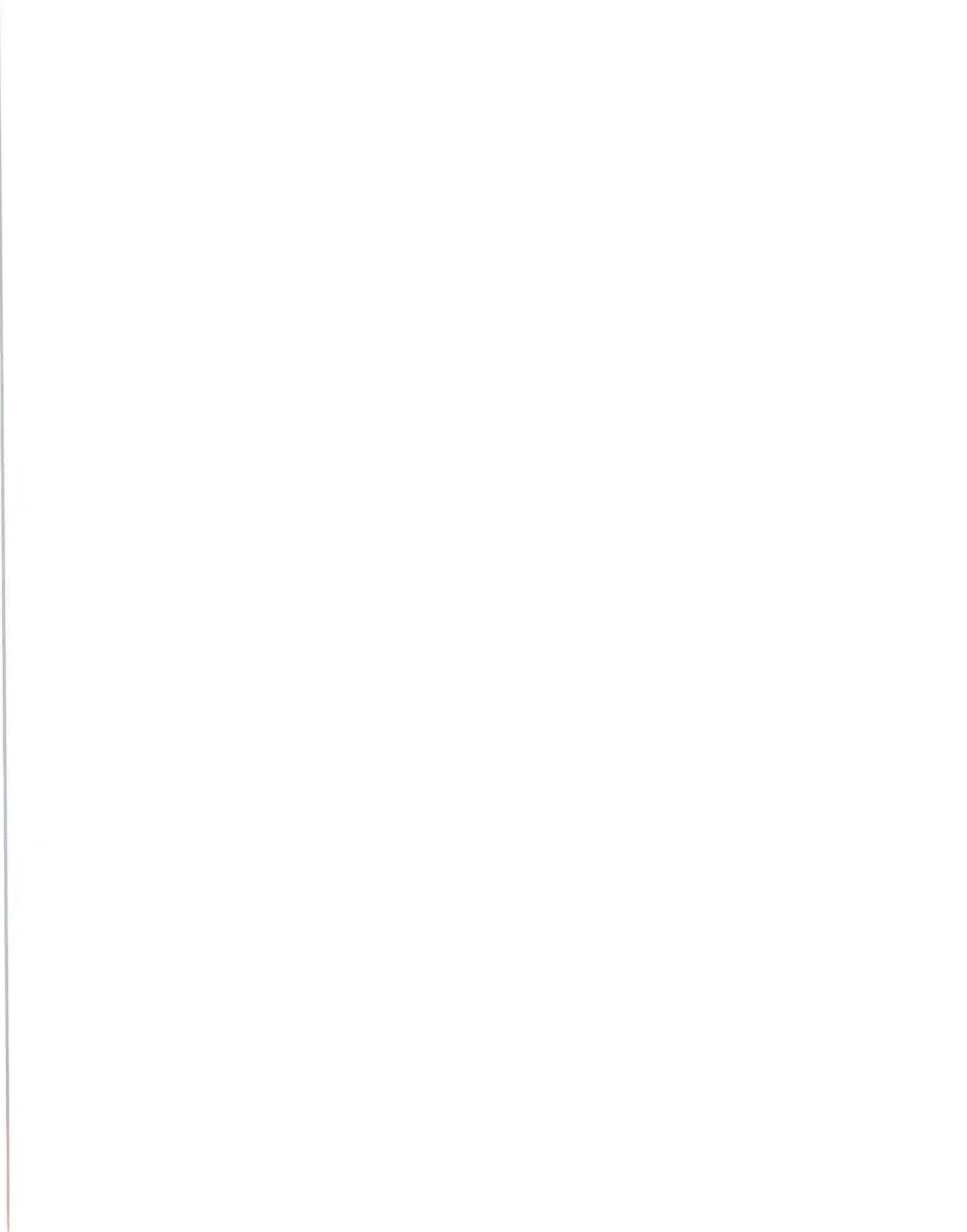


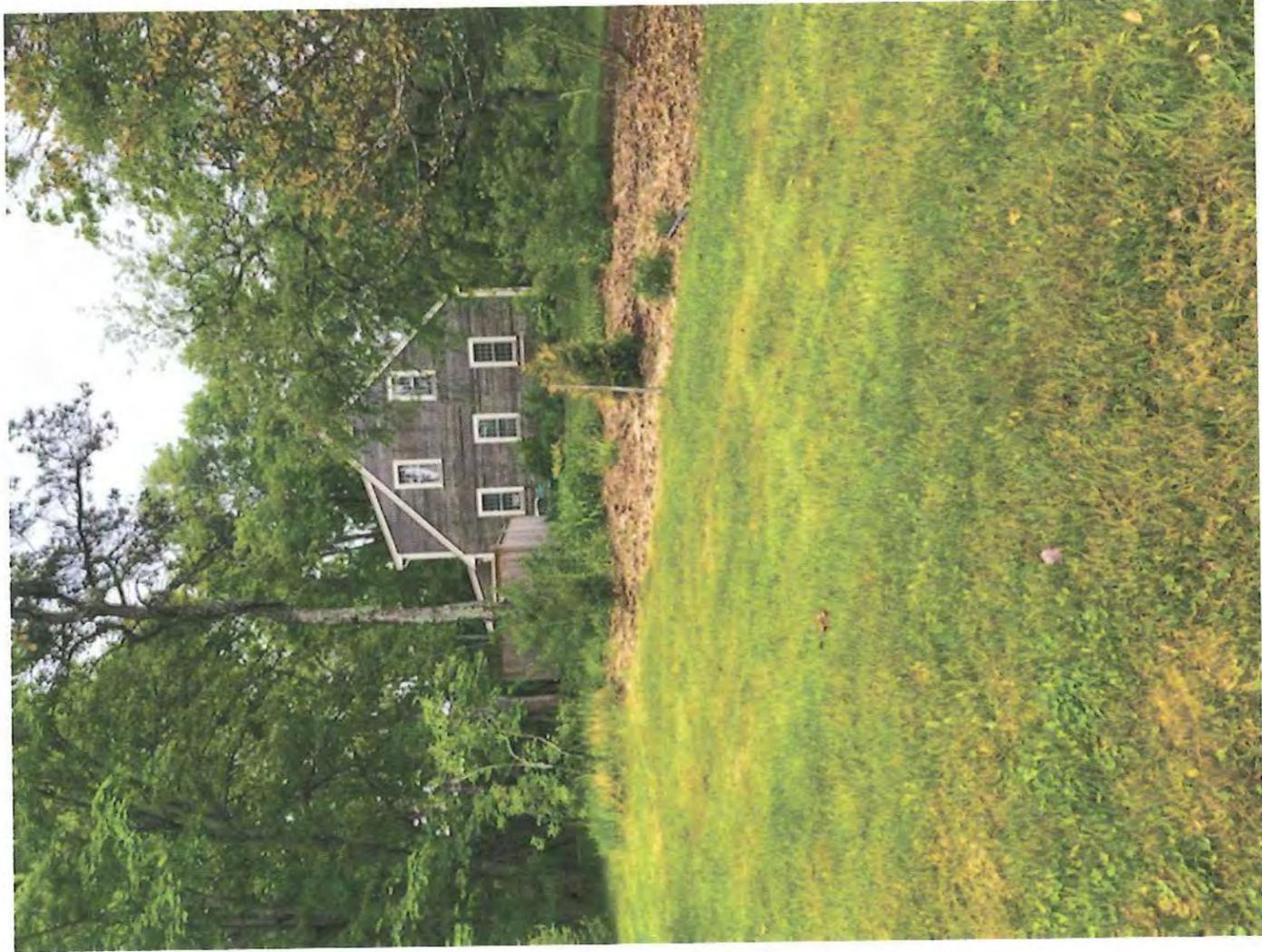












Side
View of
a buffer from
side yard
of 3861 Mainst.
Barnstable, 02630



Laurie McCullough <lgmccullough5@gmail.com>

(no subject)

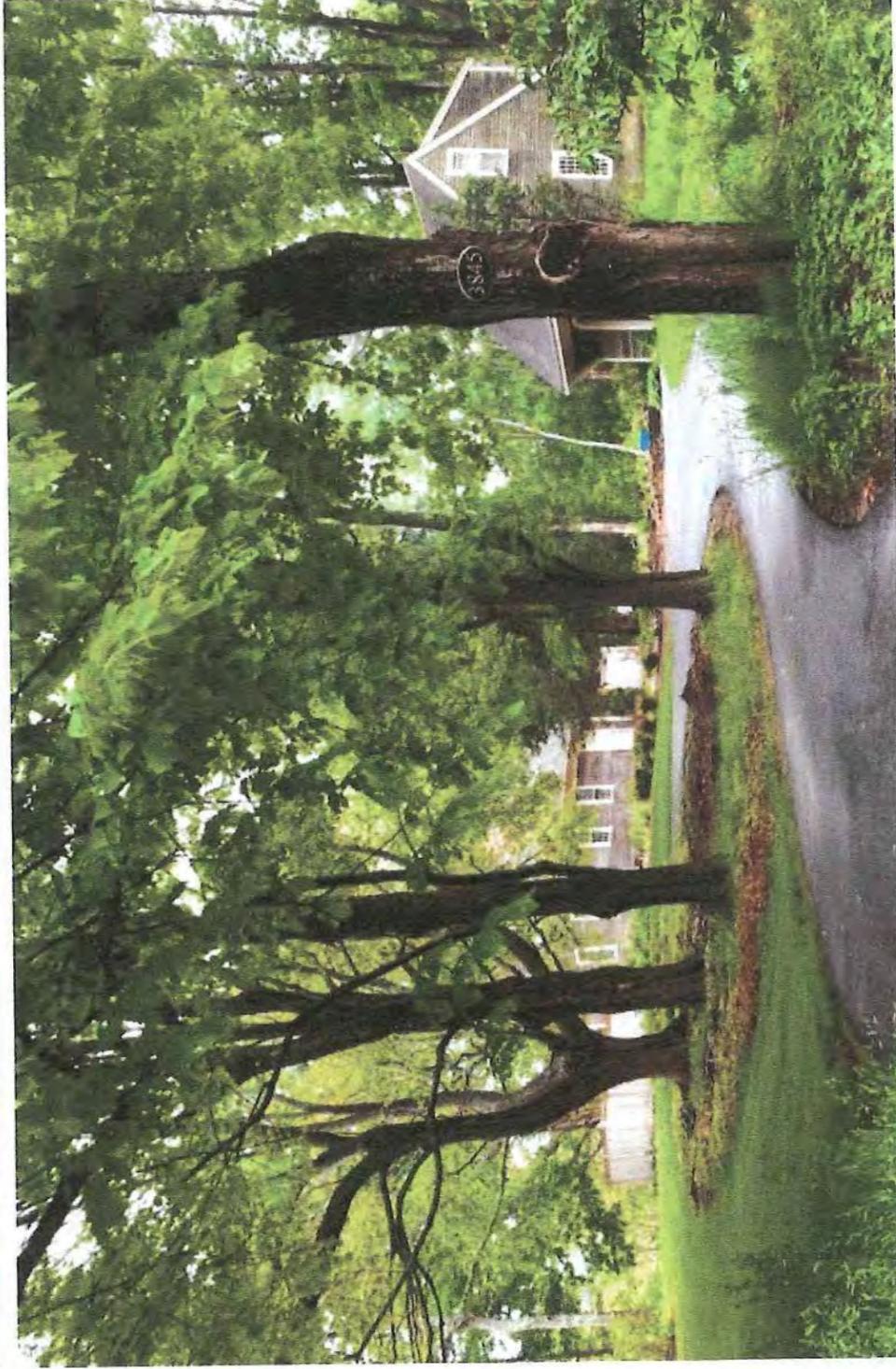
1 message

4077193202@pm.sprint.com <4077193202@pm.sprint.com>

To: lgmccullough5@gmail.com

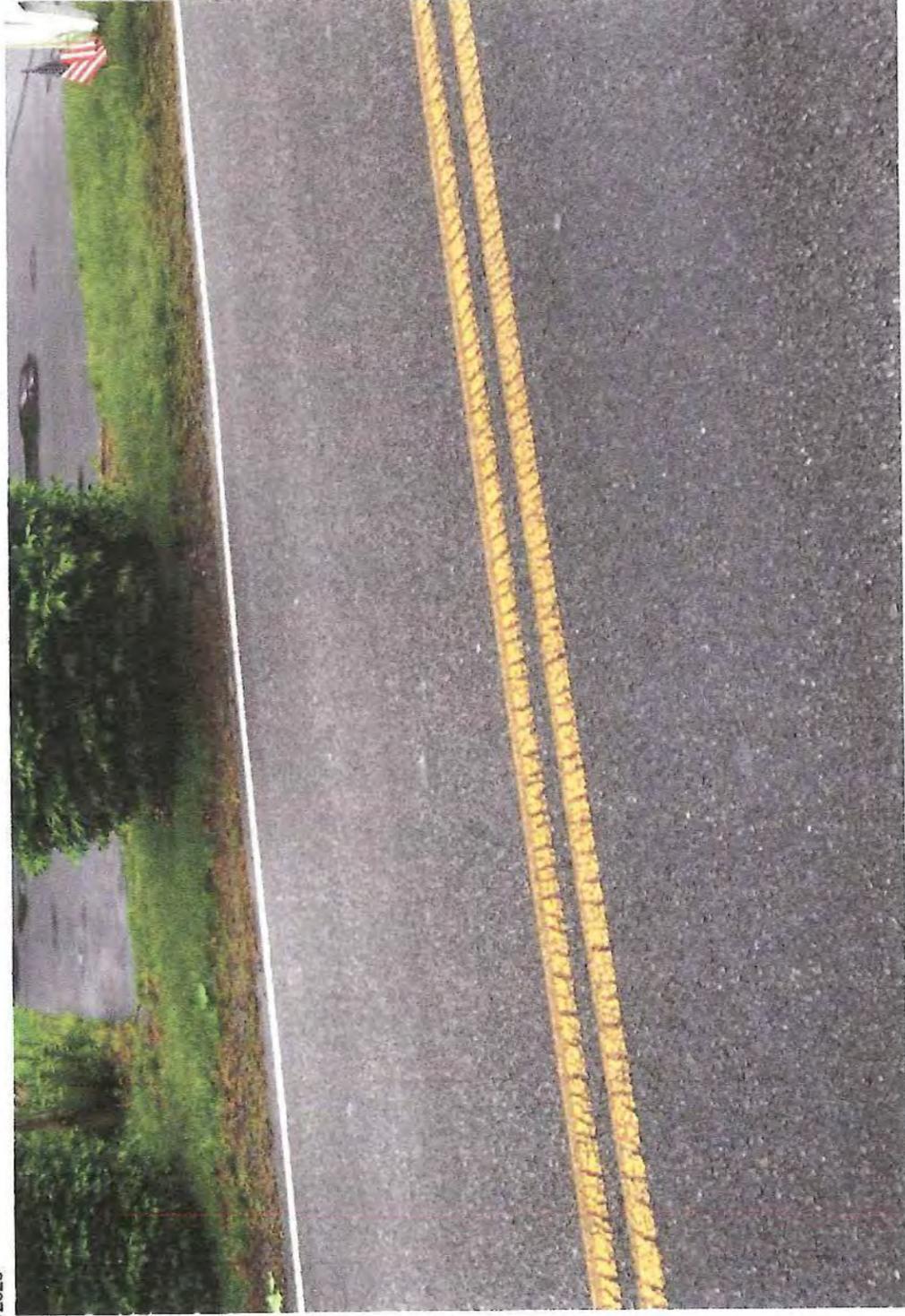
Fri, May 29, 2020 at 12:20 PM

Sent from my mobile.



Front of
Abutters
Home
(seen from
Route 6A -
Main Street)

<https://mail.google.com/mail/u/0?ik=58cdfd8377&view=pt&search=all&permthid=thread-f%3A1668046187917892938&simpl=msg-f%3A1668046187917892938>



Mary
Dunn Rd.,
Abutting
3861 Main St,
Barnstable



Laurie McCullough <lgmccullough5@gmail.com>

(no subject)

1 message

4077193202@pm.sprint.com <4077193202@pm.sprint.com>

Fri, May 29, 2020 at 12:19 PM

To: lgmccullough5@gmail.com

Sent from my mobile.



Neighbors
Home across
Mary Dunne

<https://mail.google.com/mail/u/0?ik=58cdfd8377&view=pt&search=all&permthid=thread-f%3A1668046171759477026&siml=msg-f%3A1668046171759477026>



Search mail

12:11

Home - Front
ACROSS GA
(Main St.)

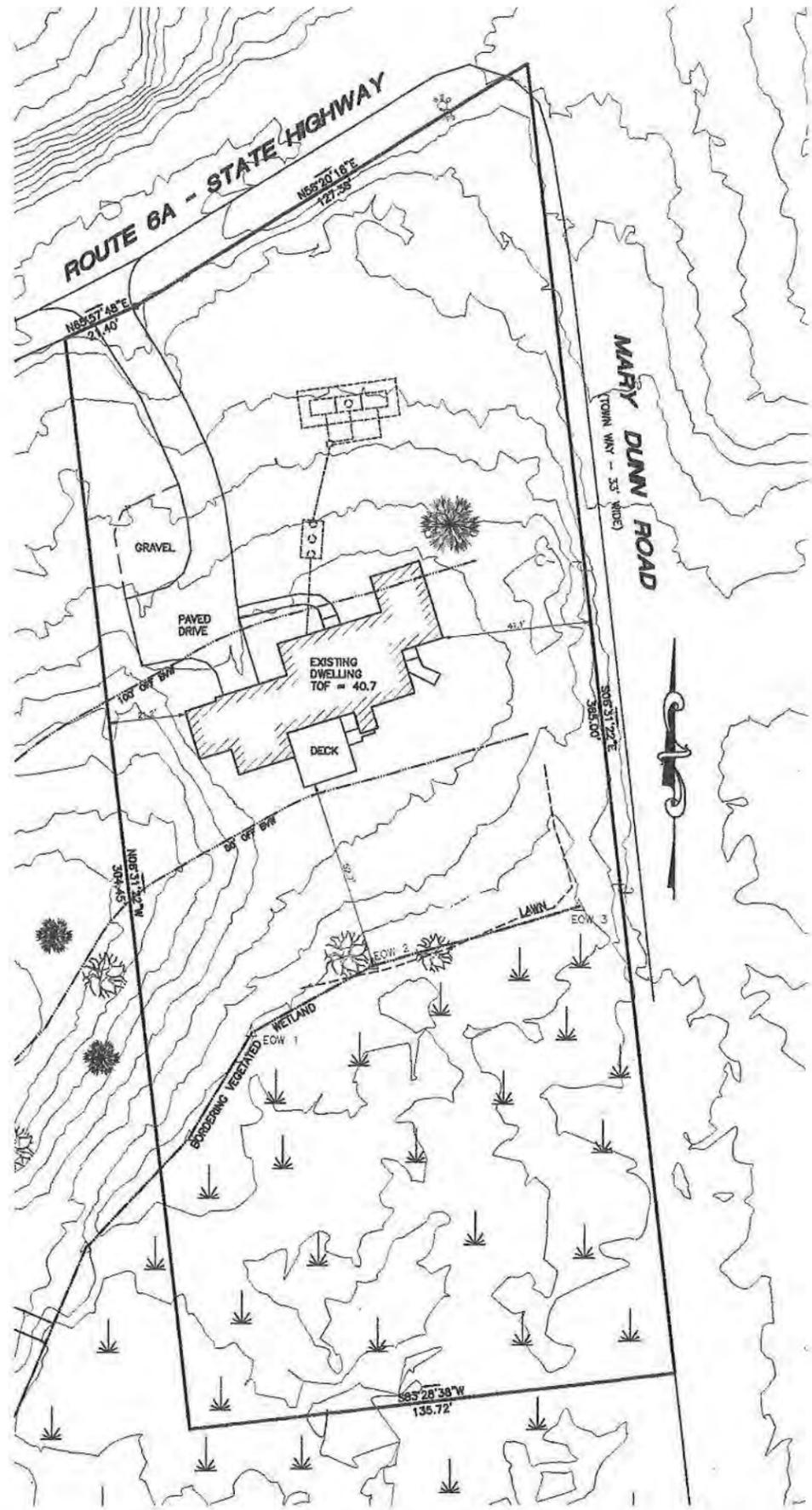


No H
cor
E
src

<https://mail.google.com/mail/u/0/#inbox/FMfgxwHNgWwcZwgPwTtHjfiNOqZZxfj>

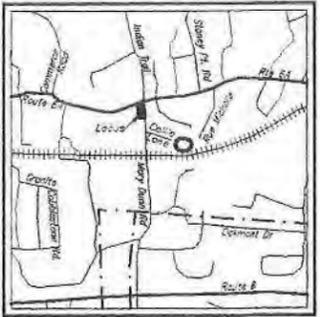


House & Neighbor
Across Route 6A
(Main St.)
(As seen from 6A &
Indian Trail)



NOTES

1. DATUM IS NAD83.
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-800-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.



LOCUS MAP
SCALE 1"=2000'
ASSESSORS MAP 335 PARCEL B-2

ZONING SUMMARY

ZONING DISTRICT: RF-2 DISTRICT

| | |
|----------------------|-------------|
| MIN. LOT SIZE | 43,560 S.F. |
| MIN. LOT FRONTAGE | 20' |
| MIN. LOT WIDTH | 150' |
| MIN. FRONT SETBACK | 30' |
| MIN. SIDE SETBACK | 15' |
| MIN. REAR SETBACK | 15' |
| MAX. BUILDING HEIGHT | 30' |

SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

SITE PLAN

OF
**#3861 ROUTE 6A
BARNSTABLE, MA**

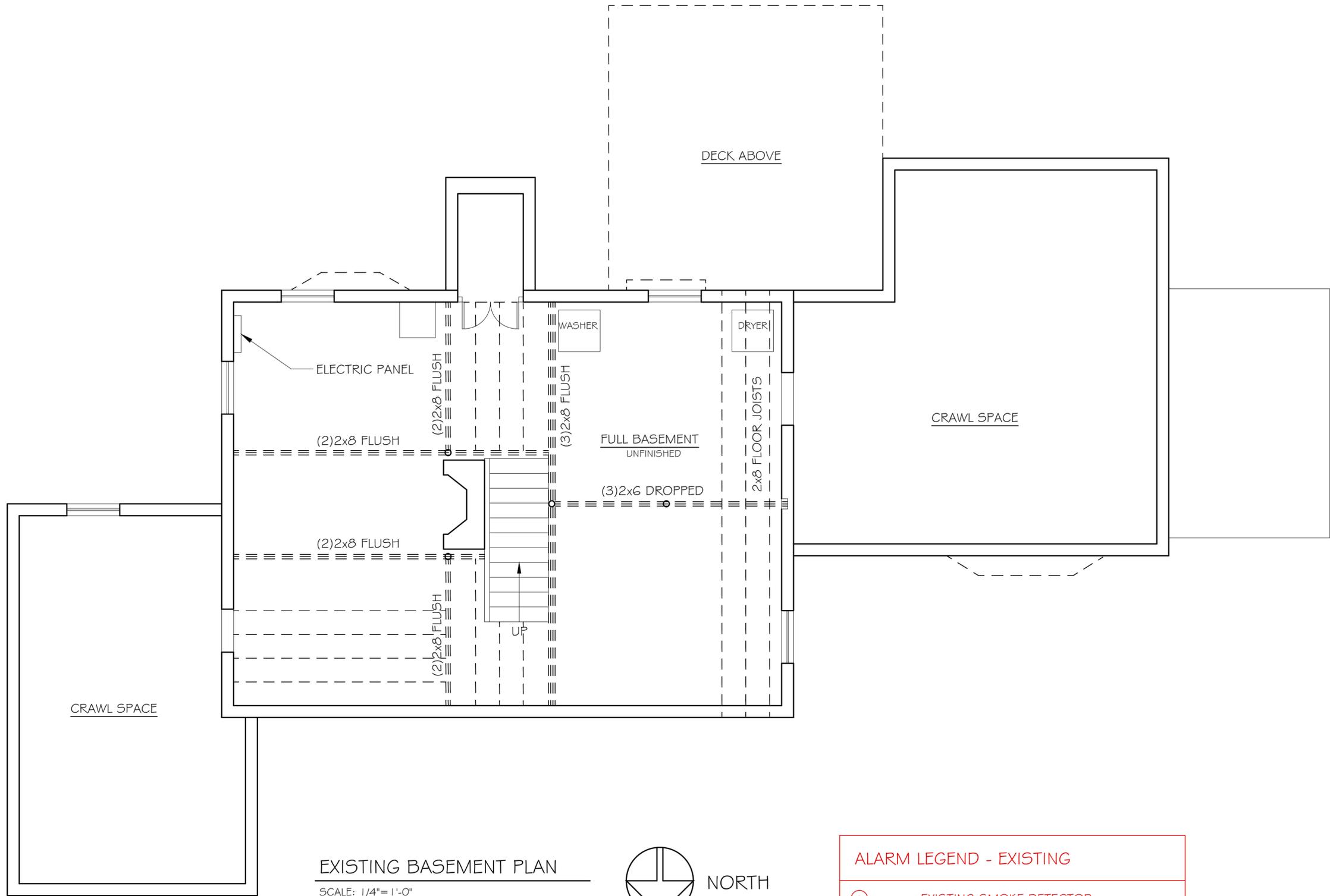
PREPARED FOR
TIMOTHY McCULLOUGH

DATE: MAY 14, 2020



508-362-6511
 508-362-9080
 downcape.com
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675

DATE: DANIEL A. OJALA, P.E., P.L.S.



EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



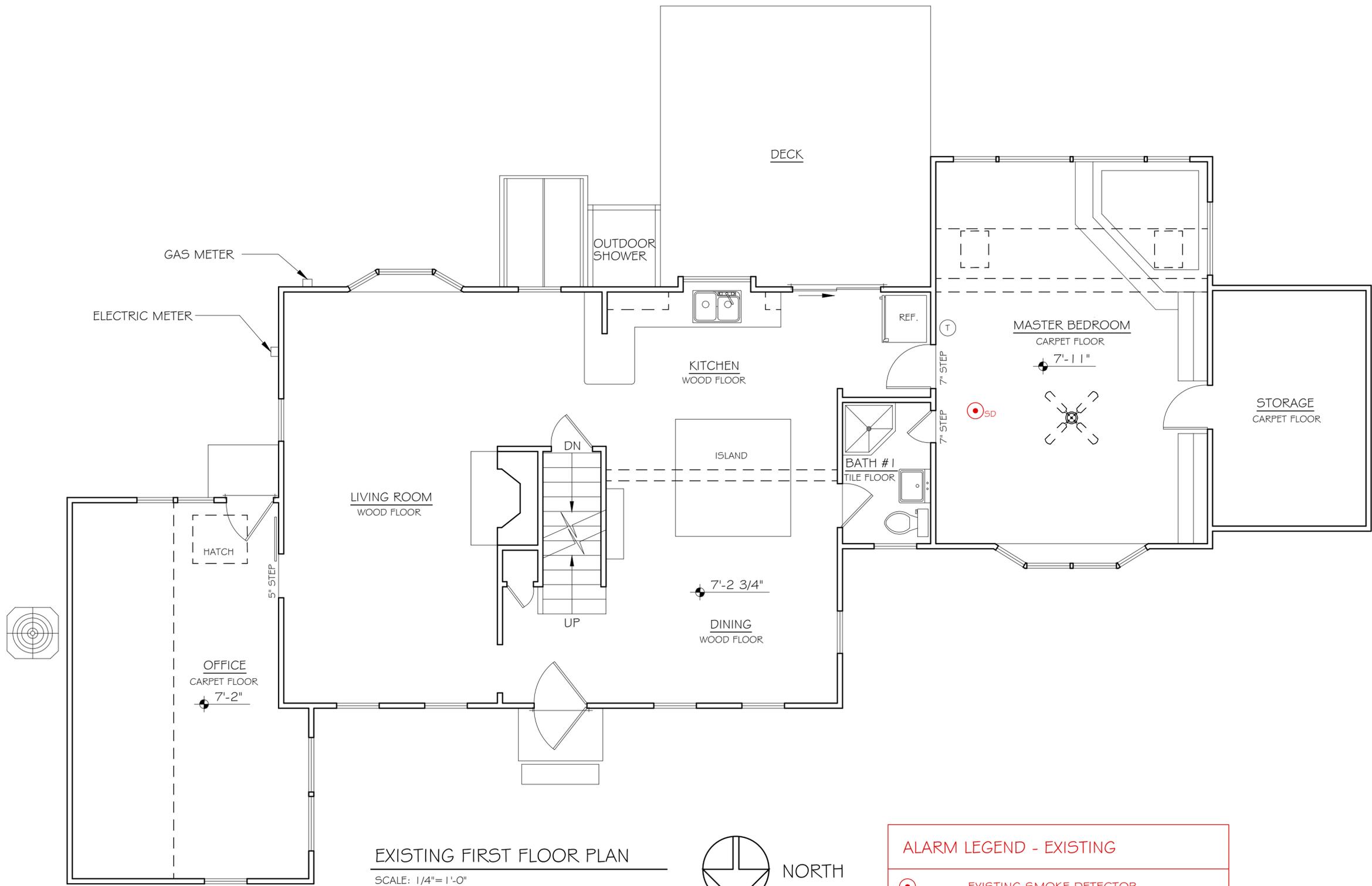
- ALARM LEGEND - EXISTING
- _{SD} — EXISTING SMOKE DETECTOR
 - _{CO} — EXISTING CARBON MONOXIDE DETECTOR
 - _{HD} — EXISTING HEAT DETECTOR

EX-1

Existing Basement Plan
McCullough Residence
386 I Main St., Barnstable, MA 02630

Date: 05.28.2020

La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



ALARM LEGEND - EXISTING

- _{SD} — EXISTING SMOKE DETECTOR
- _{CO} — EXISTING CARBON MONOXIDE DETECTOR
- _{HD} — EXISTING HEAT DETECTOR

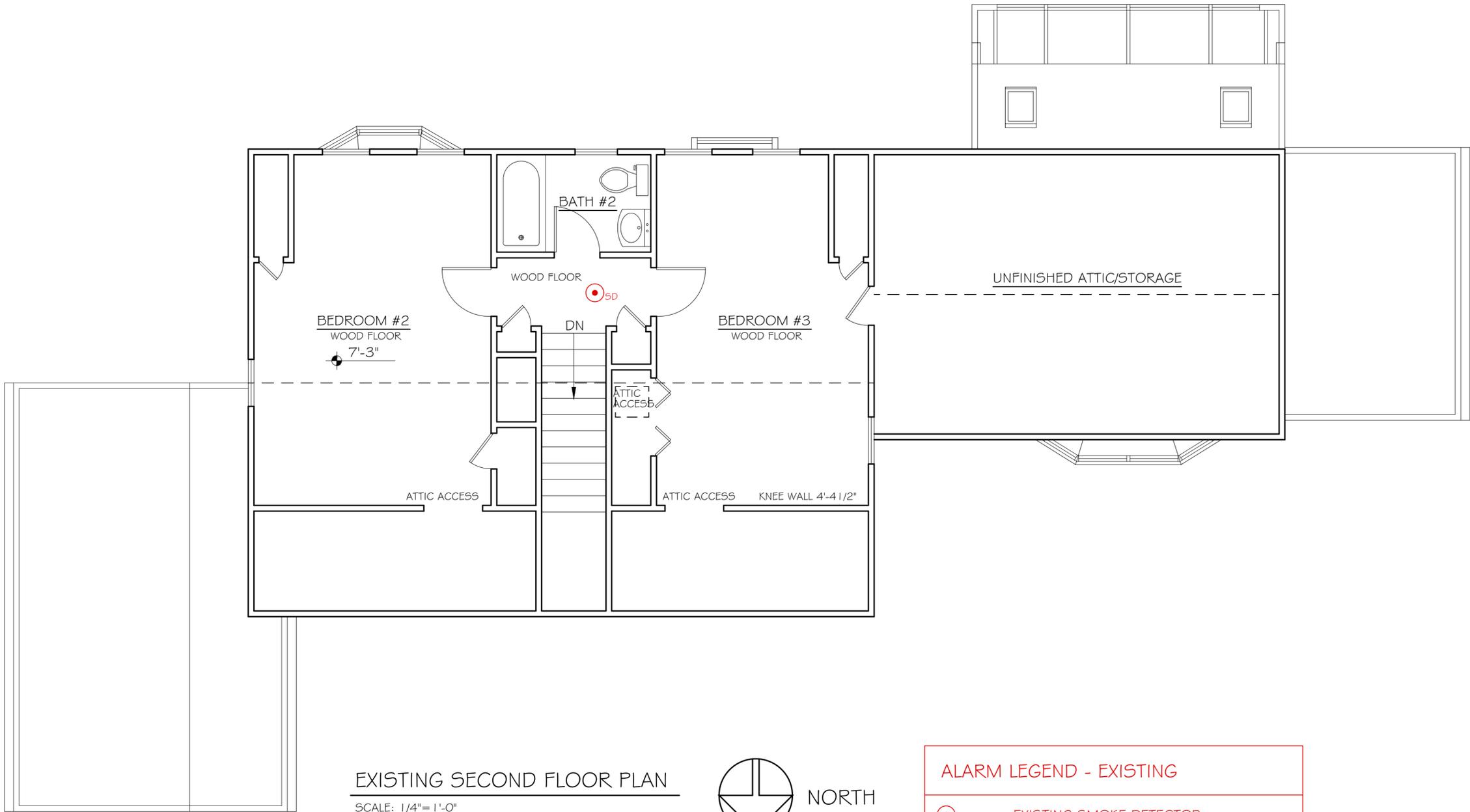
Existing First Floor Plan

McCullough Residence
3861 Main St., Barnstable, MA 02630

Date: 05.28.2020

La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614

EX-2

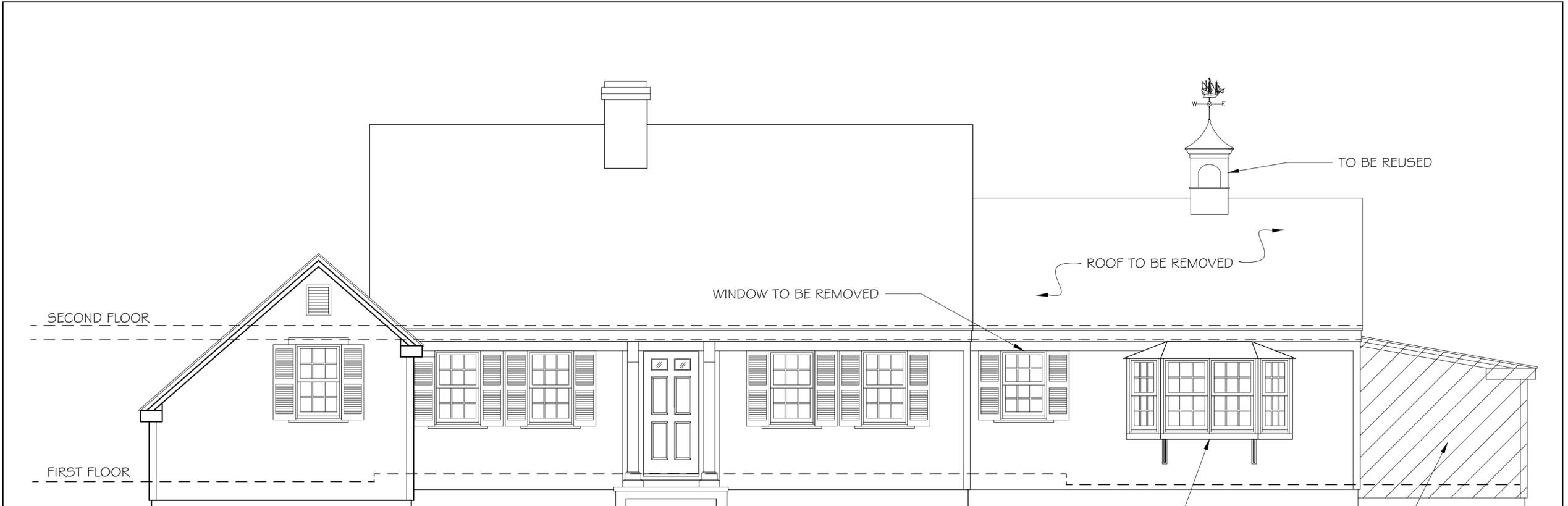


EXISTING SECOND FLOOR PLAN

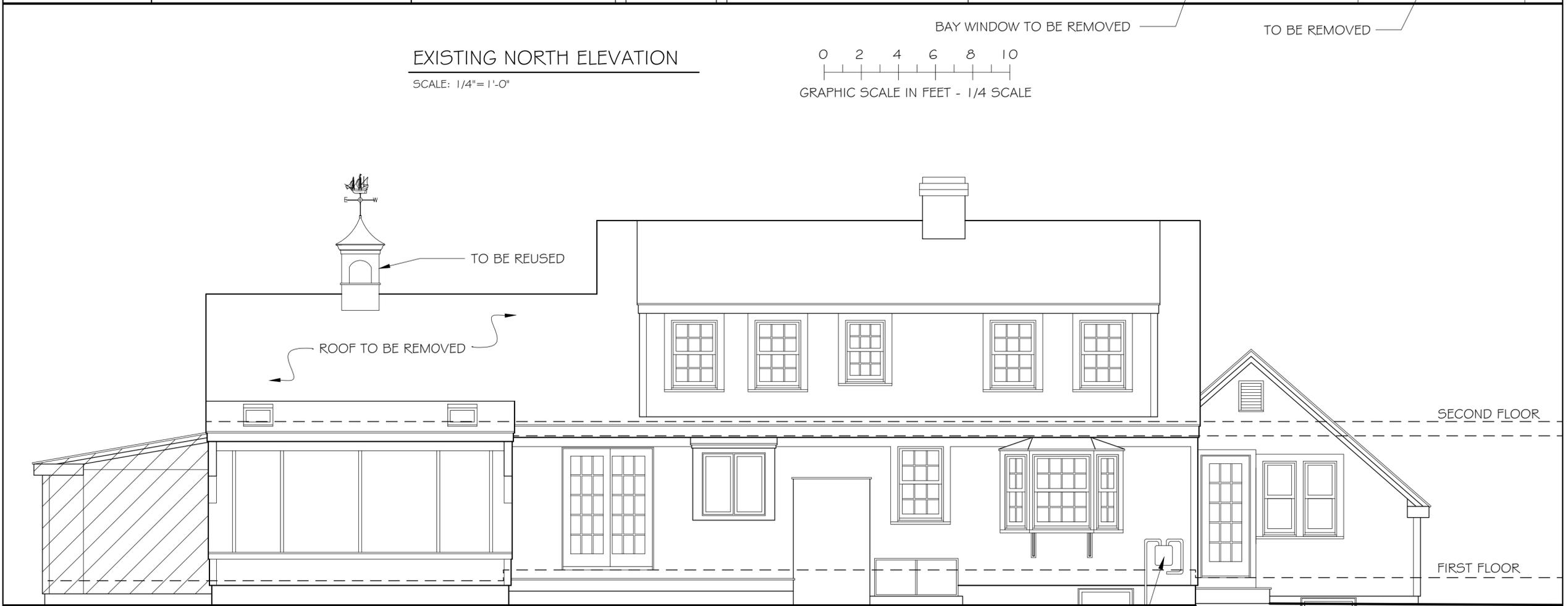
SCALE: 1/4" = 1'-0"



| ALARM LEGEND - EXISTING | |
|-------------------------|-----------------------------------|
| ● _{SD} | EXISTING SMOKE DETECTOR |
| ● _{CO} | EXISTING CARBON MONOXIDE DETECTOR |
| ● _{HD} | EXISTING HEAT DETECTOR |



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

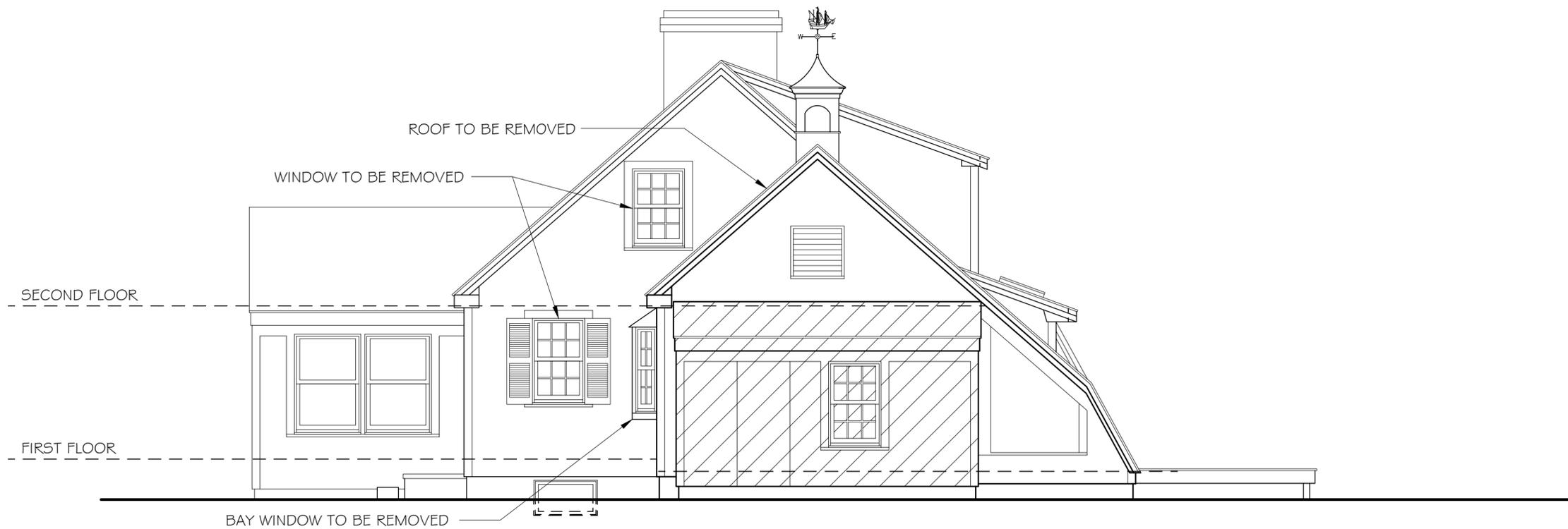
La Casa Studio
PO Box 1106 - Harwich, MA 02645
Phone: (508)-308-8614

Date: 05.28.2020

Existing Elevations

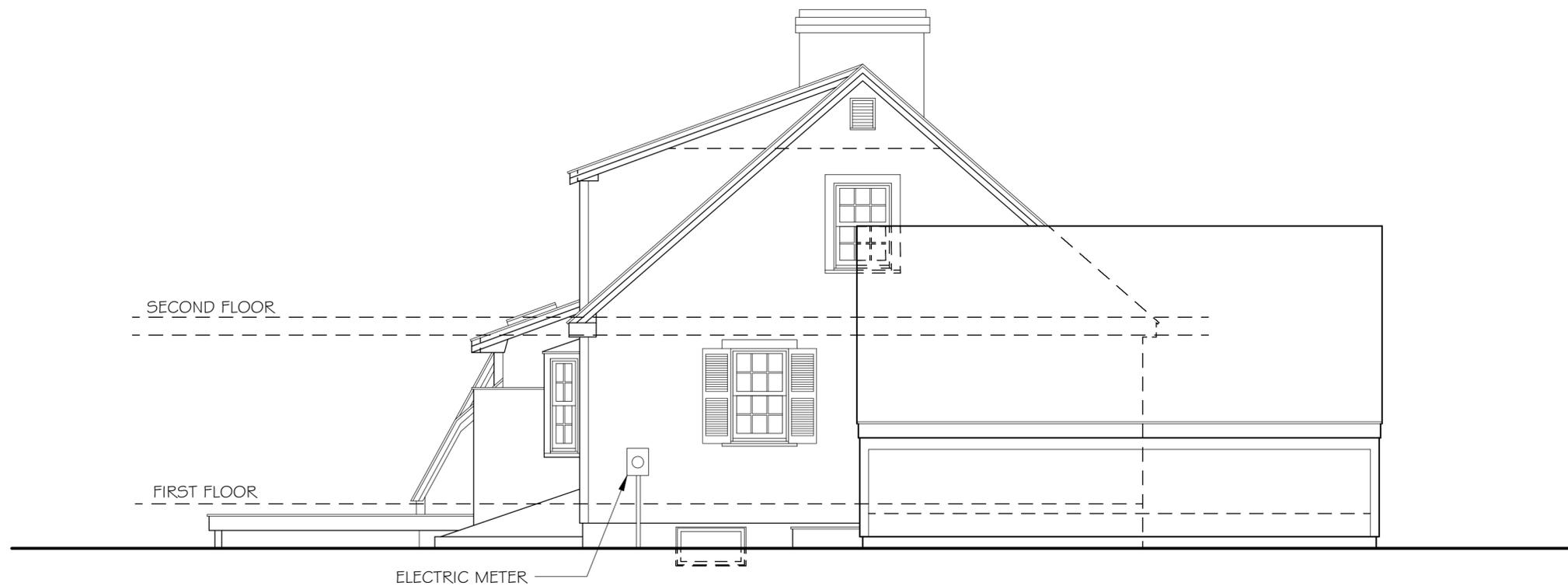
McCullough Residence
3861 Main St., Barnstable, MA 02630

EX-4



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

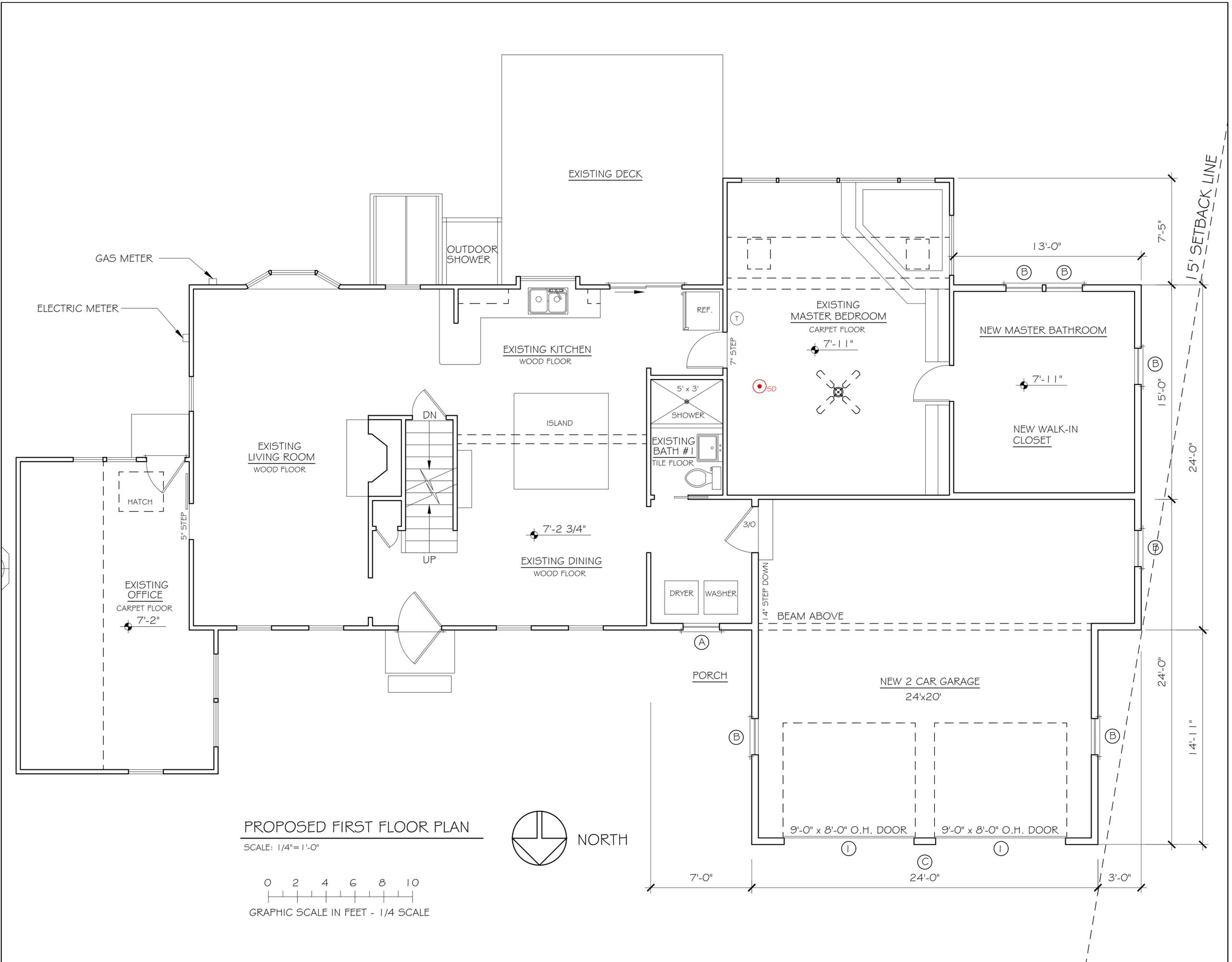
La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 05.28.2020

Existing Elevations

McCullough Residence
 3861 Main St., Barnstable, MA 02630

EX-5

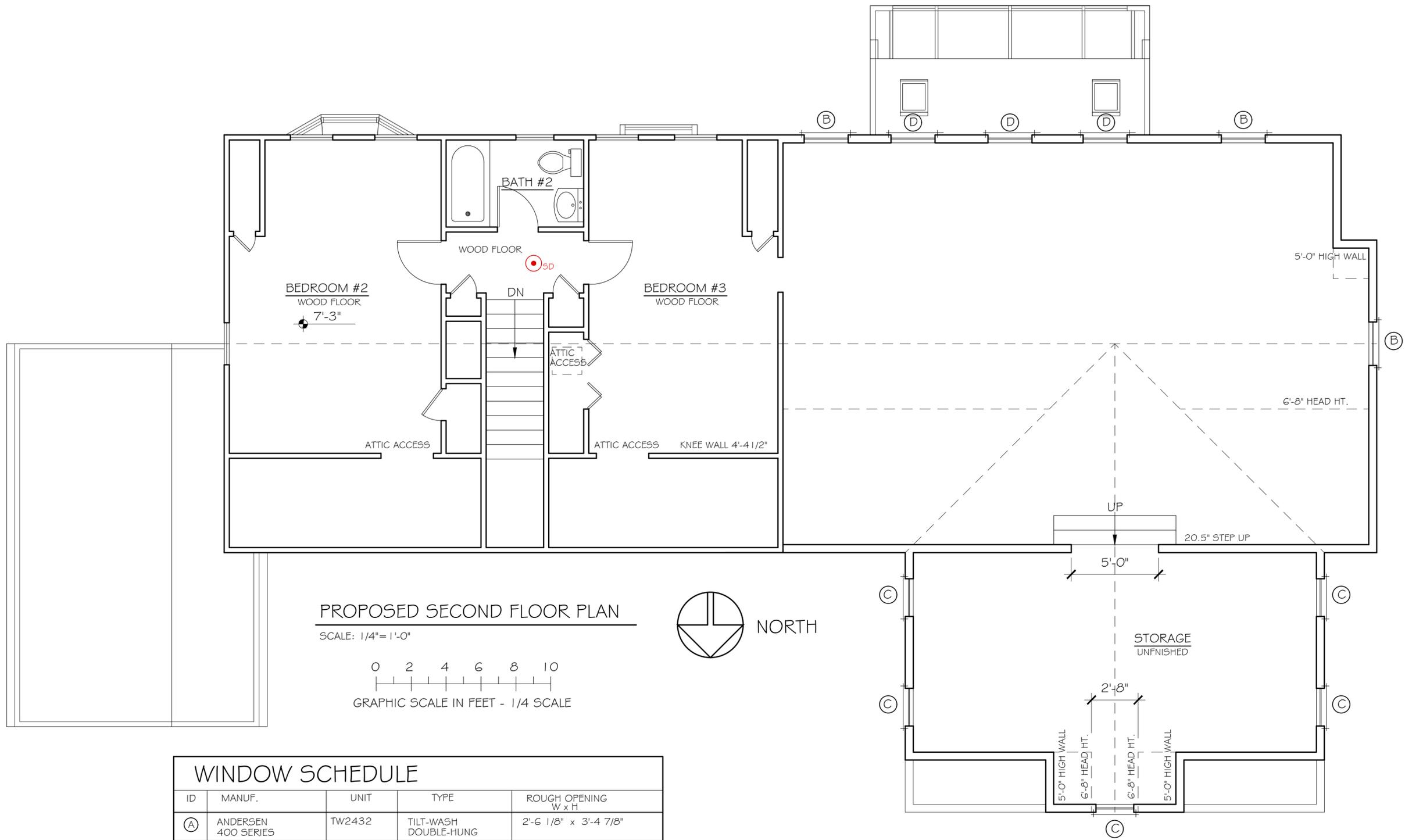


La Casa Studio
 PO Box 1106 - Harwich, MA 02645
 Phone: (508)-308-8614

Date: 05.28.2020

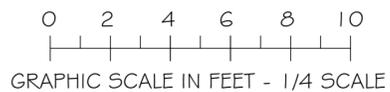
Proposed First Floor Plan
 McCullough Residence
 3861 Main St., Barnstable, MA 02630

A-2



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE

| ID | MANUF. | UNIT | TYPE | ROUGH OPENING W x H |
|-----|---------------------|--------|-----------------------|-----------------------|
| (A) | ANDERSEN 400 SERIES | TW2432 | TILT-WASH DOUBLE-HUNG | 2'-6 1/8" x 3'-4 7/8" |
| (B) | ANDERSEN 400 SERIES | TW2442 | TILT-WASH DOUBLE-HUNG | 2'-6 1/8" x 4'-4 7/8" |
| (C) | ANDERSEN 400 SERIES | TW2036 | TILT-WASH DOUBLE-HUNG | 2'-2 1/8" x 3'-8 7/8" |
| (D) | ANDERSEN 400 SERIES | TW2436 | TILT-WASH DOUBLE-HUNG | 2'-6 1/8" x 3'-8 7/8" |

NOTES: BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH AMENDMENTS. CLIMATE ZONE: 5A FENESTRATION REQUIREMENTS: WINDOW U-FACTOR ≤ 0.30 WINDOW SHGC: NO REQUIREMENT

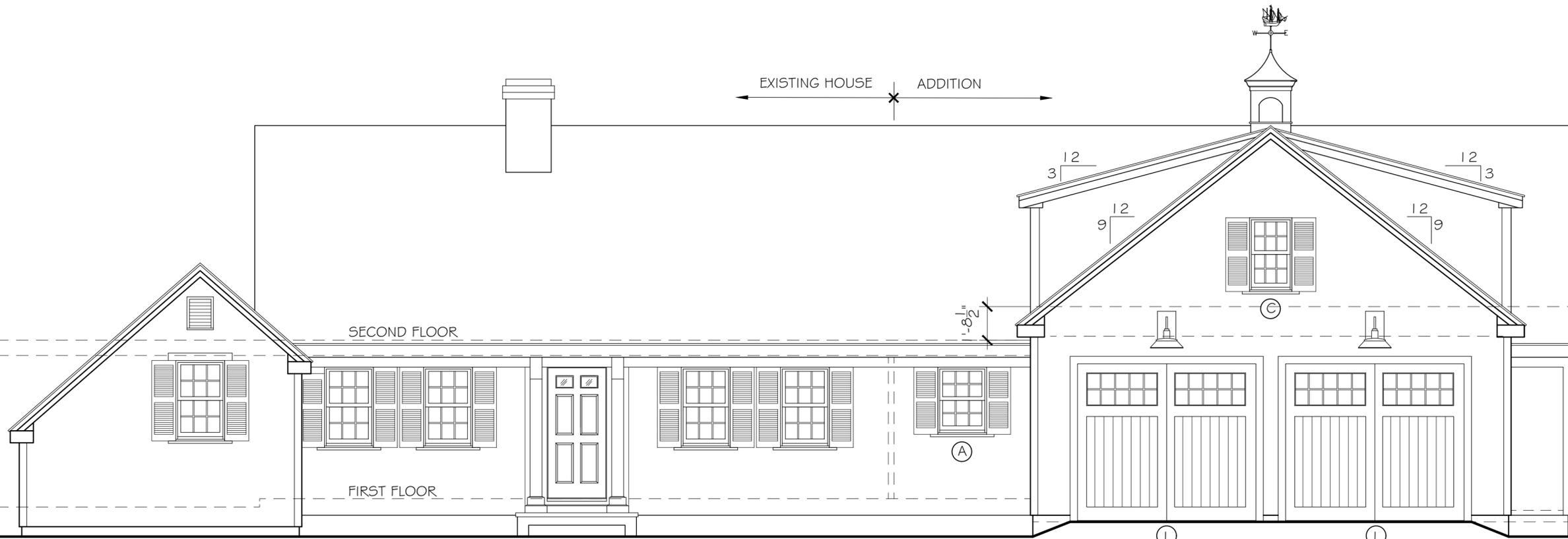
GLASS OPTION: HIGH-PERFORMANCE LOW-E4 WITH ARGON GRILLES: "FINELIGHT" BETWEEN THE GLASS WINDOW FINISH (INTERIOR): WHITE; JAMB LINERS: WHITE WINDOW FINISH (EXTERIOR): WHITE DOUBLE-HUNG TILT-WASH 400 SERIES HARDWARE: STANDARD: WHITE FULL CONVENTIONAL INSECT SCREENS FOR ALL OPERABLE UNITS

ANDERSEN ROUGH OPENING DIMENSIONS ARE THE MINIMUM AMOUNT OF SPACE NEEDED BETWEEN THE WINDOW OR PATIO DOOR AND THE BUILDING STRUCTURE. LEAVE AT LEAST 1/4" SPACE AROUND THE WINDOW FOR FOAM INSULATION.

FOR GRILLE PATTERNS AND VENTING CONFIGURATIONS SEE ELEVATIONS.

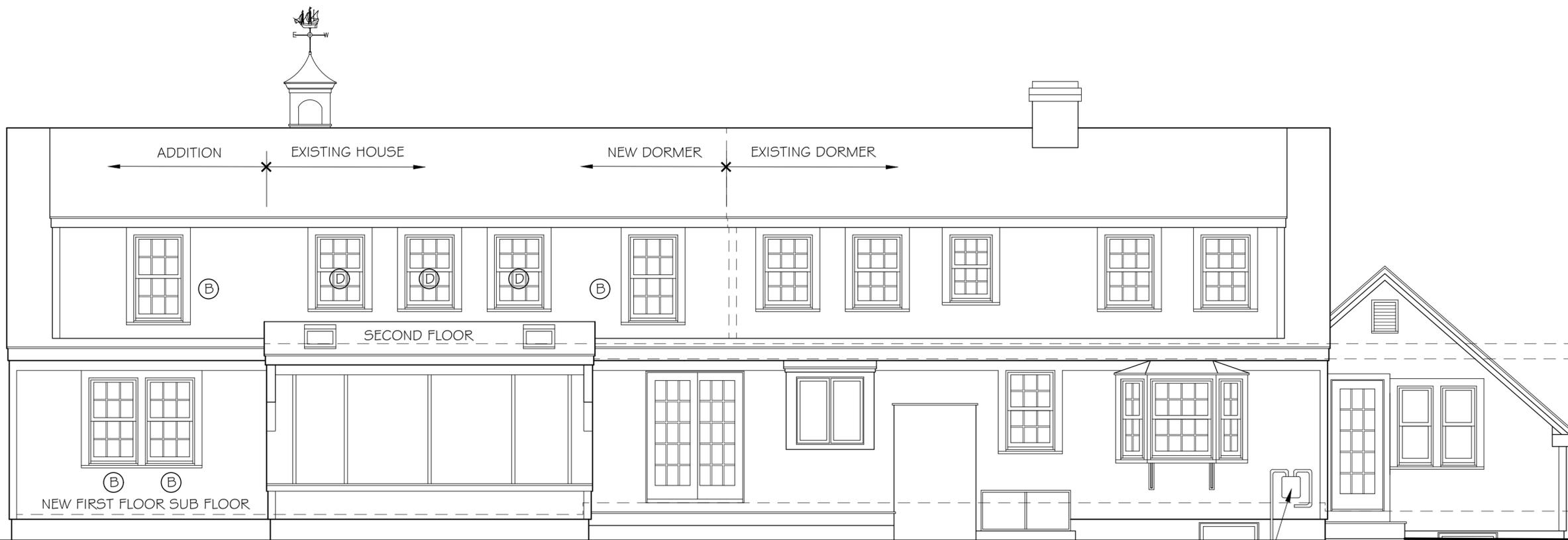
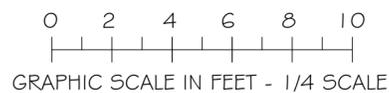
EXTERIOR DOOR SCHEDULE

| ID | MANUF. | UNIT | TYPE | UNIT SIZE W x H | ROUGH OPENING W x H |
|-----|--------|------|----------------------|-----------------|---------------------|
| (1) | | | OVERHEAD GARAGE DOOR | 9'-0" x 8'-0" | |



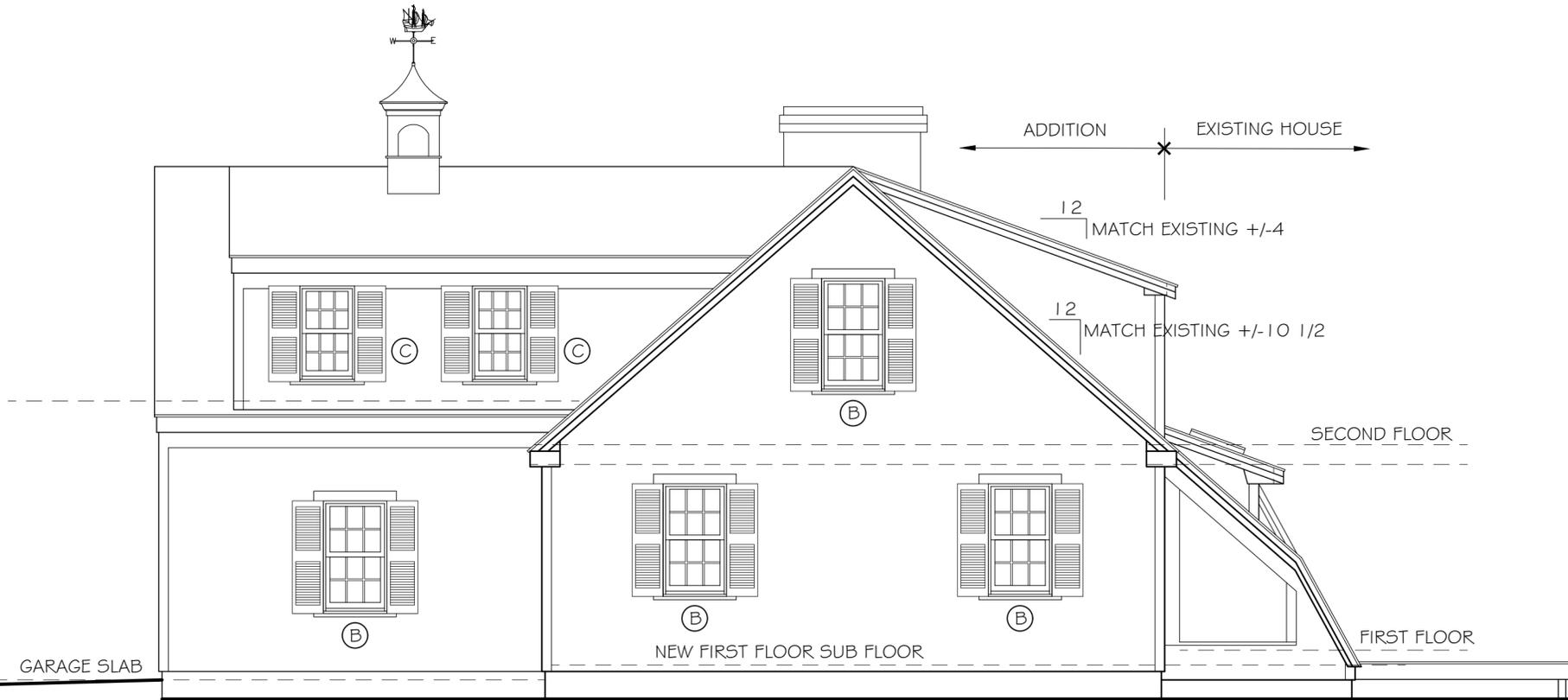
PROPOSED NORTH ELEVATION

SCALE: 1/4"=1'-0"



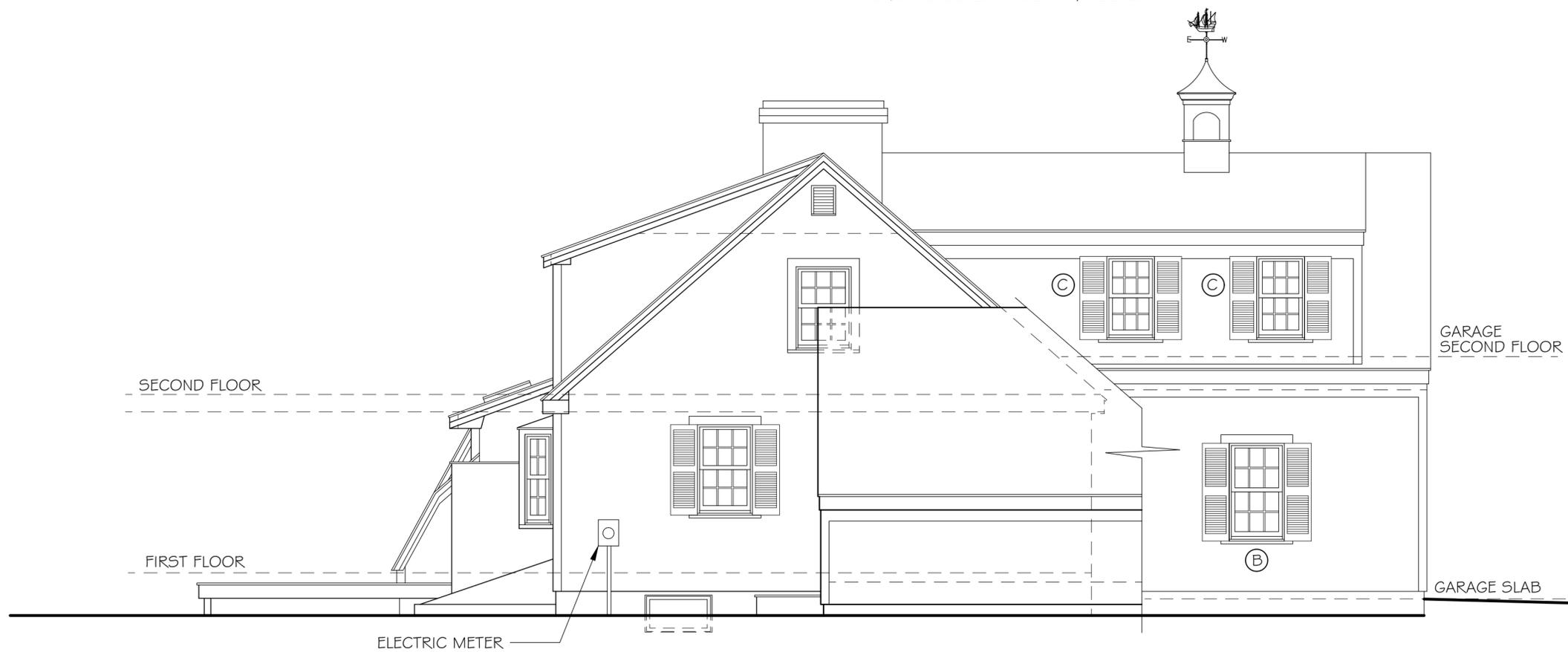
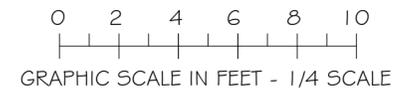
PROPOSED SOUTH ELEVATION

SCALE: 1/4"=1'-0"



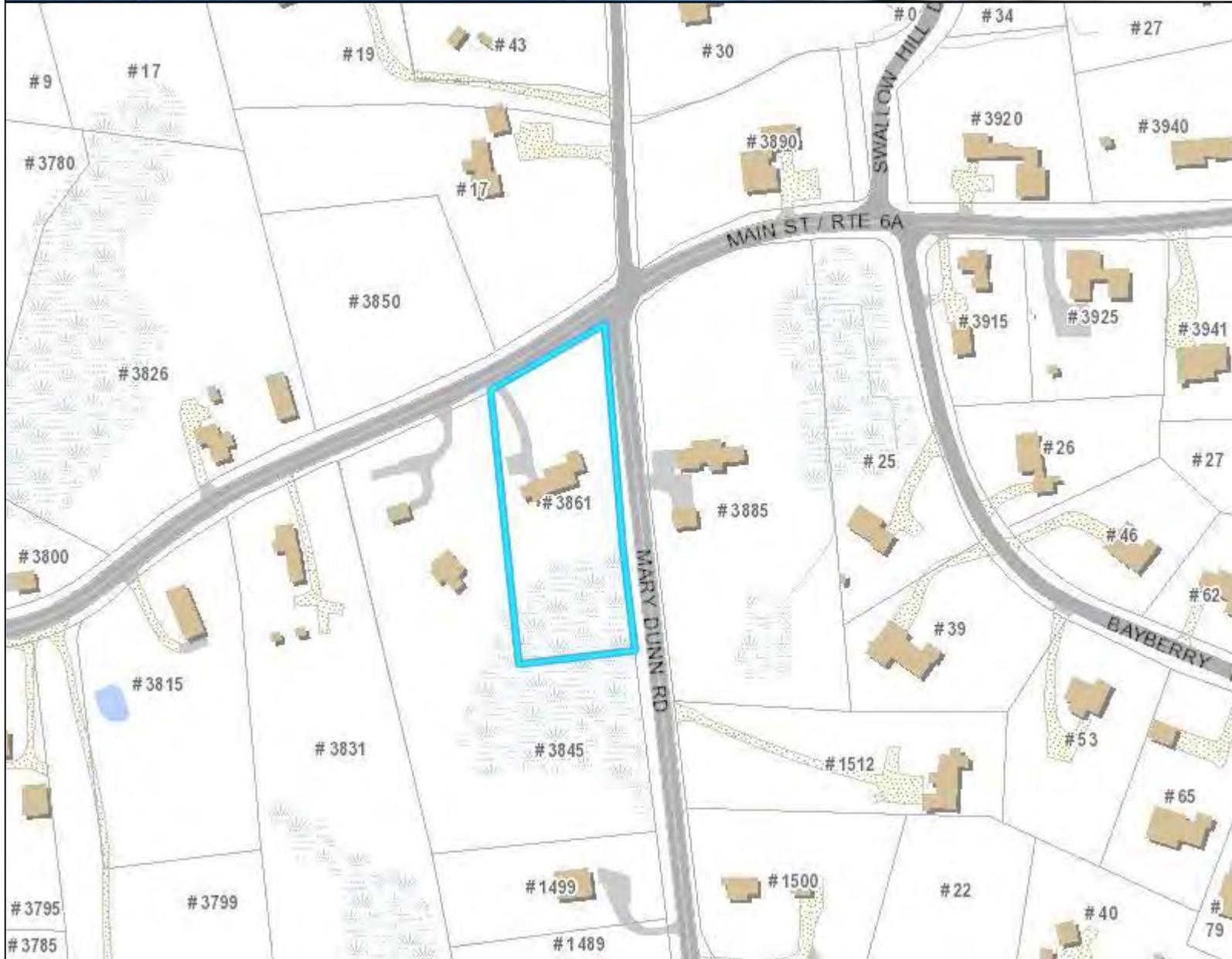
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 6/9/2020



Approx. Scale: 1 inch = 167 feet



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Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 6/9/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

MAY 11 2020
PLANNING & DEVELOPMENT

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: New Addition Alteration
2. Type of Building: House Garage/barn Shed Commercial Other
3. Exterior Painting, roof new roof color/material change, of trim, siding, window, door *(to Match Existing)*
4. Sign: New Sign Existing Sign Repainting Existing Sign
5. Structure: Fence Wall Flagpole Retaining wall Tennis court Other
6. Pool Swimming Other man-made pool Solar panels Other

Type or Print Legibly: Date 5/22/20

NOTE All applications must be signed by the current owner

Owner (print): Kevin Hunt Telephone #: 508-294-7182
 Address of Proposed Work: 558 Cedar St. Village W. Barn. Map Lot # 109/048
 Mailing Address (if different) P.O. Box 41 West Barnstable, MA 02668
 Owner's Signature Kevin Hunt

Description of Proposed Work: Give particulars of work to be done: Construct Barn
 JUN 01 2020
 PLANNING & DEVELOPMENT

Agent or Contractor (print): J. Scott Peacock Telephone #: 508-428-7600
 Address: P.O. Box 171, Osterville, MA 02655
 Contractor/Agent's signature: J. Scott Peacock

For committee use only This Certificate is hereby **APPROVED / DENIED**

Date _____ Members signatures _____

Conditions of approval _____



~~office copy~~

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Cement 4' foundation

Siding Type: Clapboard shingle other
Material: red cedar white cedar other Color:

Chimney Material: NA Color:

Roof Material: (make & style) Certainteed Architectural Shingles Color: Weatherwood

Roof Pitch(s): (7/12 minimum) 12/12 (specify on plans for new buildings, major additions)

Window and door trim material: wood other material, specify P.V.C. Azek with Hidden Fasteners

Size of cornerboards 1X5 size of casings (1 X 4 min.) color white

Rakes 1st member 1X8 2nd member 1X3 Depth of overhang 3'

Window: (make/model) Harvey material PVC color white
(Provide window schedule on plan for new buildings, major additions)

Window grills (please check all that apply):
true divided lights exterior glued grills grills between glass removable interior None

Door style and make: Thermatru material Fiberglass Color: to Match Main House

Garage Door, Style Calopy Size of opening 10'x8 Material Color

Shutter Type/Style/Material: NA Color:

Gutter Type/Material: NA Color:

Deck material: wood NA other material, specify Color:

Skylight, type/make/model: NA material Color: Size:

Sign size: NA Type/Materials: Color:

Fence Type (max 6') Style NA material: Color:

Retaining wall: Material: NA

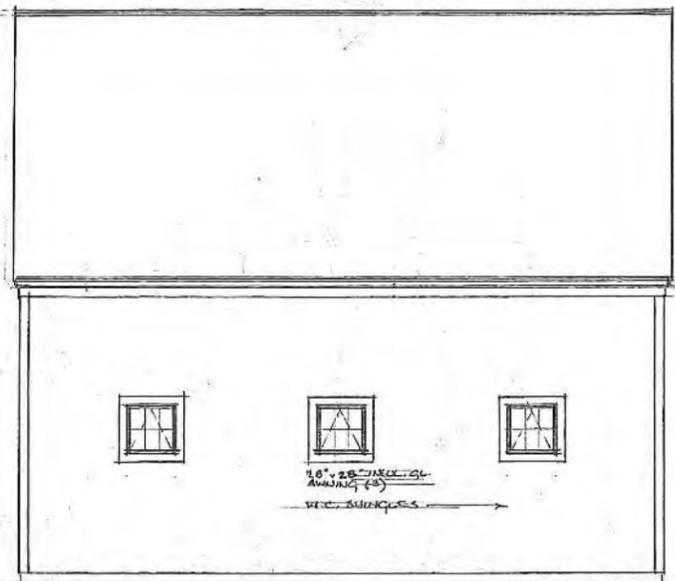
Lighting, freestanding on building illuminating sign

OTHER INFORMATION:

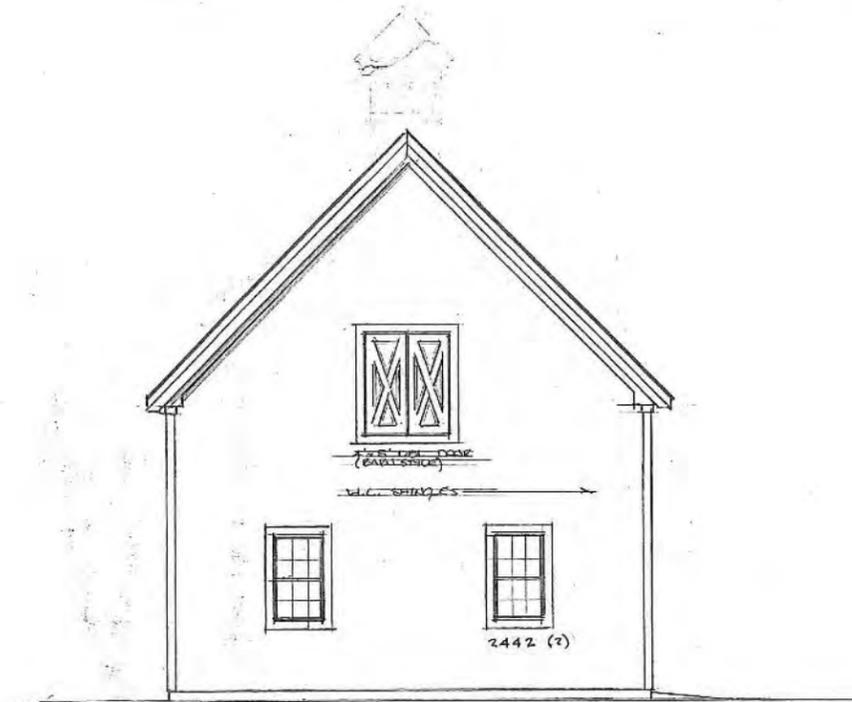
THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) J. Scott Peacock Print Name J. Scott Peacock



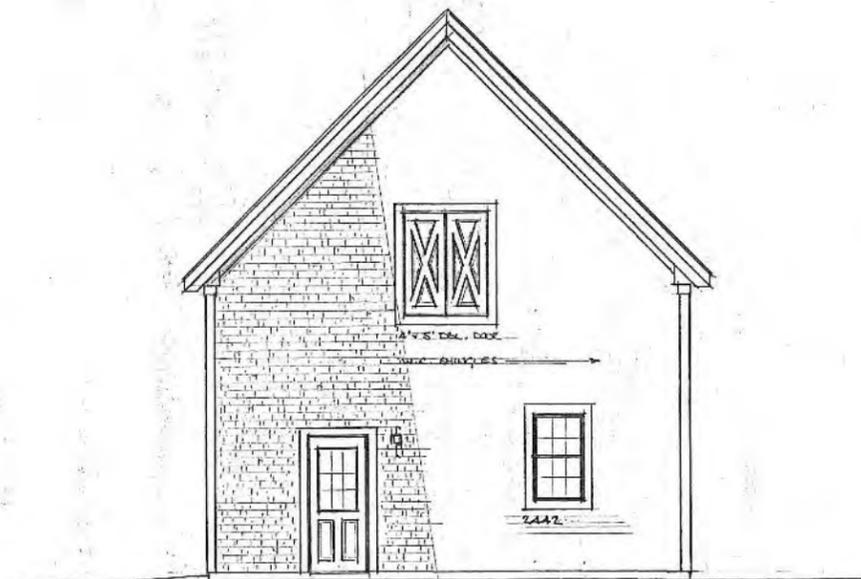
REAR ELEVATION



LEFT ELEVATION

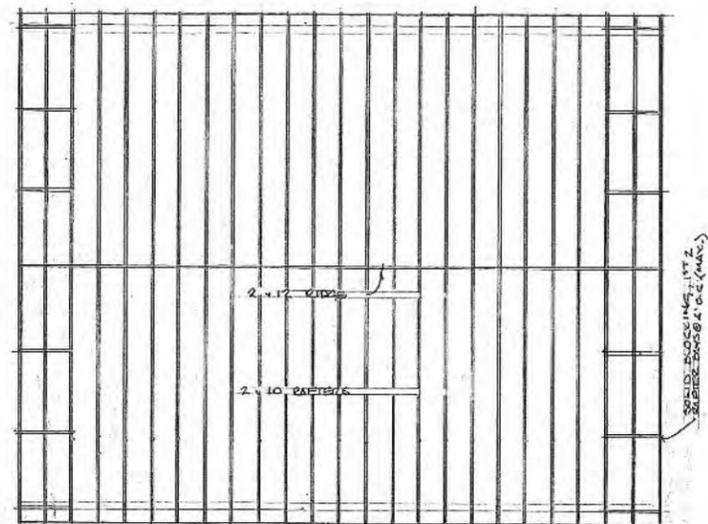


FRONT ELEVATION

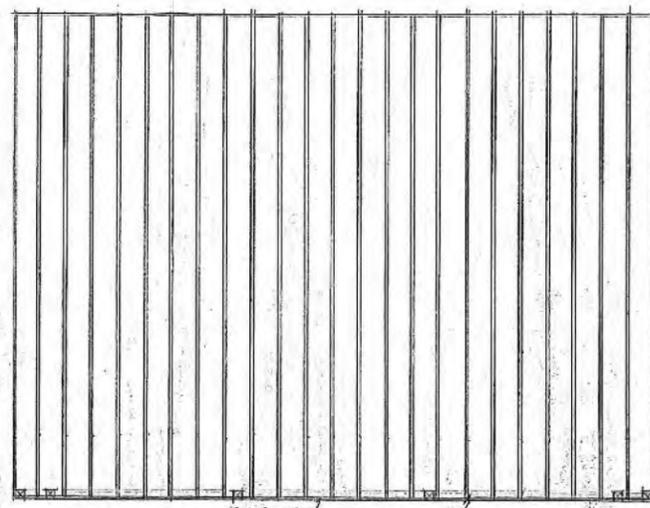


RIGHT ELEVATION

| | | |
|---|------------------------|------------------|
| CRAVEN ARCHITECTURAL DESIGN | | |
| SCALE: 1/4" = 1'-0" | REV: JIM CRIVEN | PH: 508-651-9860 |
| DATE: 4/15/10 | JACQUES@CRAVENARCH.COM | |
| SARN - 558 CEDAR ST. W. BARNSTABLE, MA. | | |
| SCOTT PEACOCK BUILDING | | AT/2 |

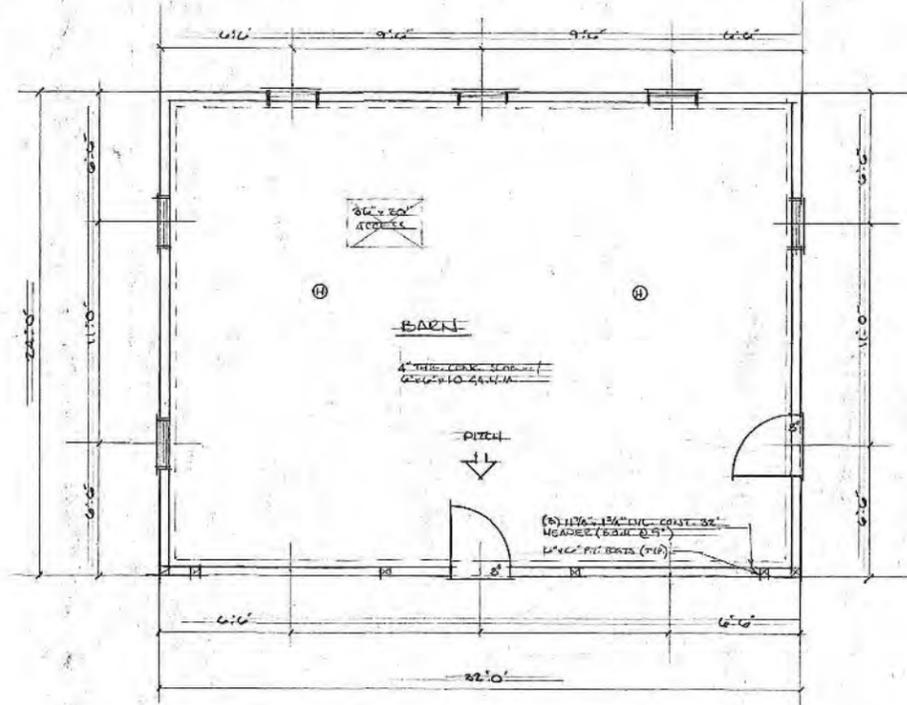
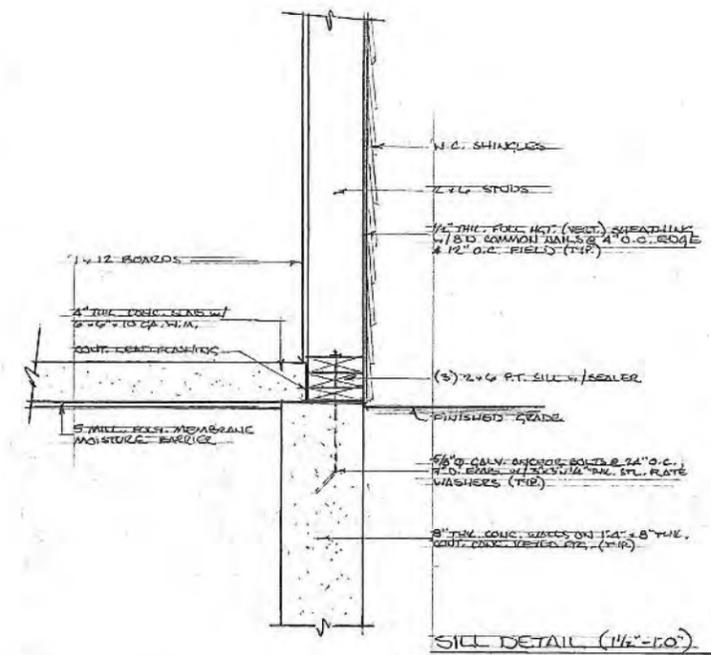


ROOF FRAMING

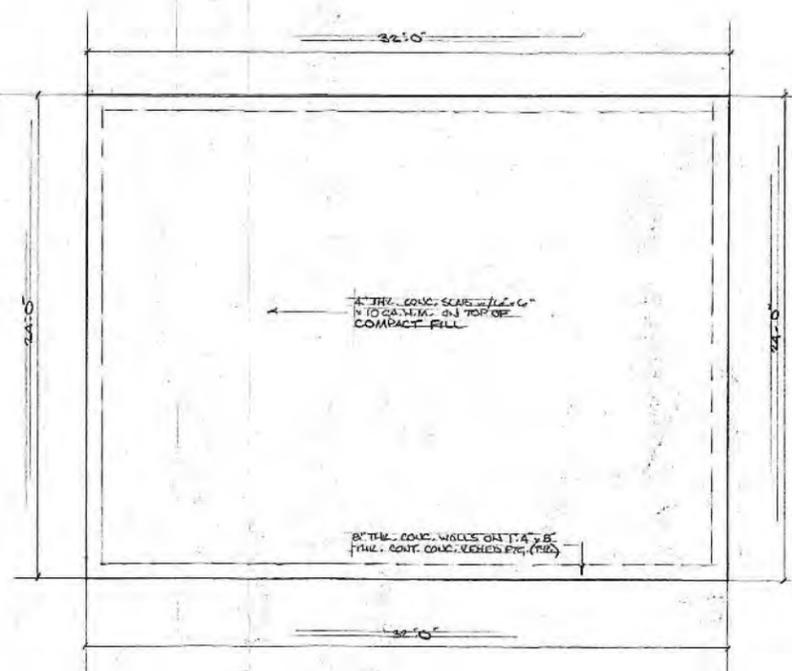


SECOND FLOOR FRAMING

10' TYP. BRK. PC. TRUSSES
 * FINAL TRUSS DESIGN & LAYOUT DONE BY MANUFACTURER.

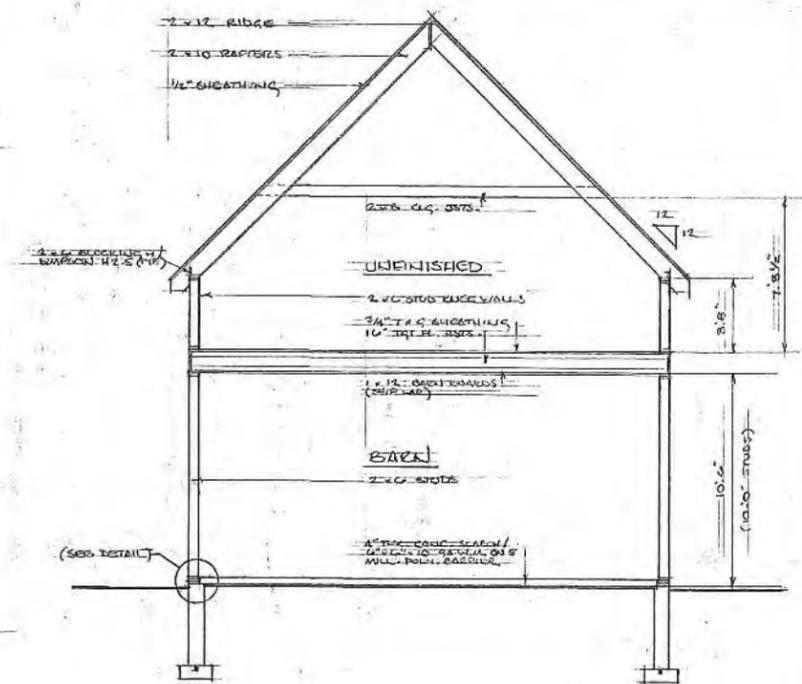


FIRST FLOOR PLAN



FOUNDATION PLAN

5/8" CALV. ANCHOR BOLTS @ 24" O.C. 1/2" D. EPOXY W/ 3/4" DIA. H.P.L. PLATE WASHERS (TRF)



SECTION A-A

| | | |
|--|--------------------------------|---------------------|
| CRAVEN ARCHITECTURAL DESIGN | | |
| SCALE: 1/4" = 1'-0" | DESIGNER: JIM CRAVEN | PROJECT: SSB GARAGE |
| DATE: 4/15/20 | CONTACT: CRAVEN12102@GMAIL.COM | |
| BARN - SSB ORANGE ST. W. GREENSBORO, MA. | | |
| SCOTT PERCOCK BUILDING | | 12/2 |

HUNT

DRIVEWAY MATERIAL - GRAVEL
(3) TREES TO BE REMOVED

 = TREE



TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF THE STRUCTURES SHOWN ON THIS PLAN HAS BEEN LOCATED ON THE GROUND AS INDICATED.

5/22/2020
5/3/18
3/3/18

DATE PROFESSIONAL LAND SURVEYOR

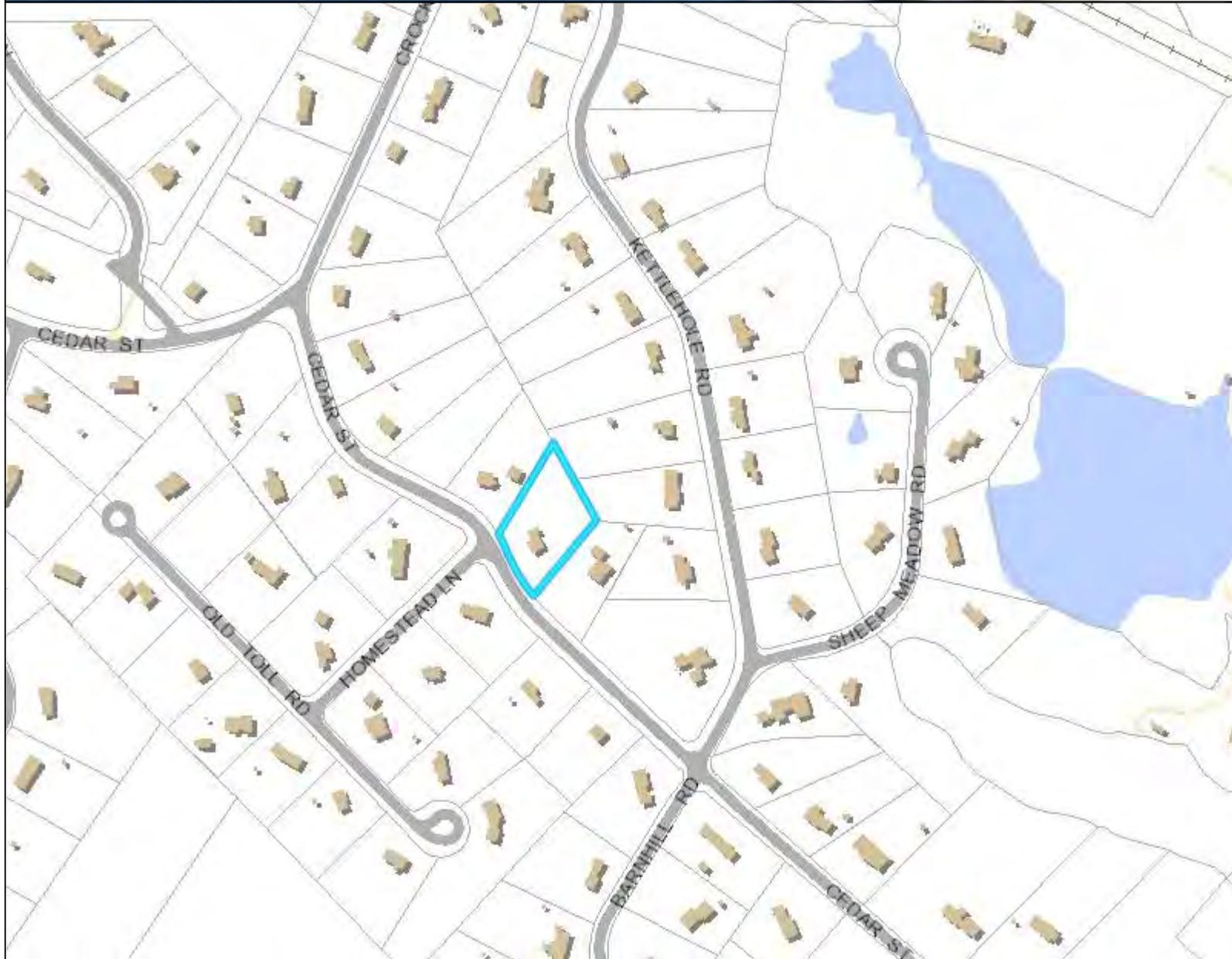
**"PROPOSED" PLOT PLAN
BARNSTABLE, MASS.
(WEST BARNSTABLE)
LOTS 37A, PL. BK. 301 PG. 99**

DATE 3/3/18 SCALE 1" = 50'

JOB 7988-00 CLIENT K. HUNT

SWEETSER ENGINEERING
203 SETUCKET ROAD
PO BOX 713 SOUTH DENNIS, MA 02660

OFF. 508-385-6900 FAX. 508-385-6991



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/9/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Legend

Road Names



Map printed on: 6/9/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department
Old King's Highway Historic District Committee
200 Main Street, Hyannis, Massachusetts 02601
Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 5-1-20 Address of Proposed work, Assessor's Map and lot # 111-019

House # 235 Street High Street Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: Fence in back yard along lot line for privacy.
Fence is 6' high and 75' long. Pressure treated 4x4
post, pressure treated 2x4 cross members and Pressure
treated Pine Wood dog ears.

Agent or contractor (please print): Myself Tel. no. 508-364-7147

Address 235 High Street West Barnstable

Owner (please print): Janice Gannon Tel. no. _____

Owners mailing address: _____

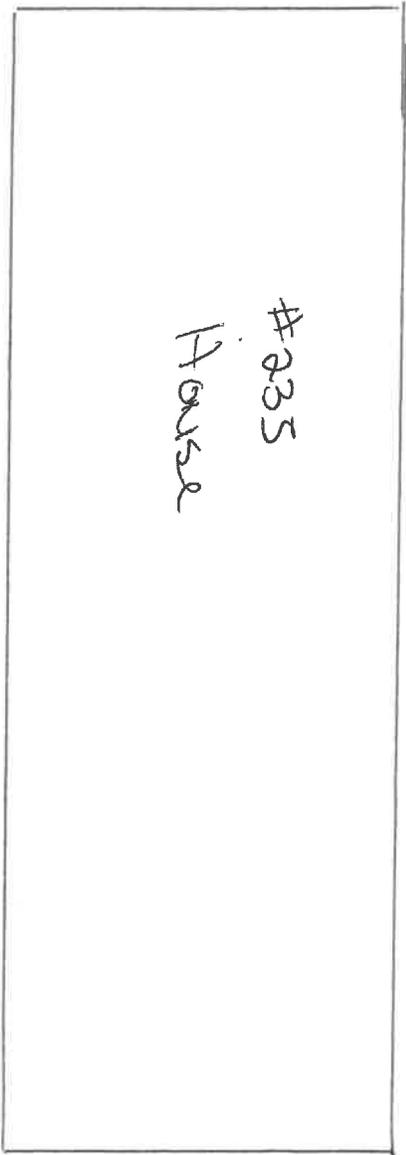
Signed, Owner/Contractor/Agent Janice Gannon

Checklist

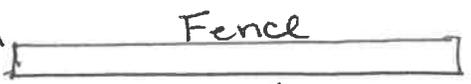
- Four complete sets of the application and supporting documentation
- \$ 20.- Filing Fee (see attached schedule)

Saniel Gannon
235 High Street
West Barnstable

Parcel 111-019



Drive
Way

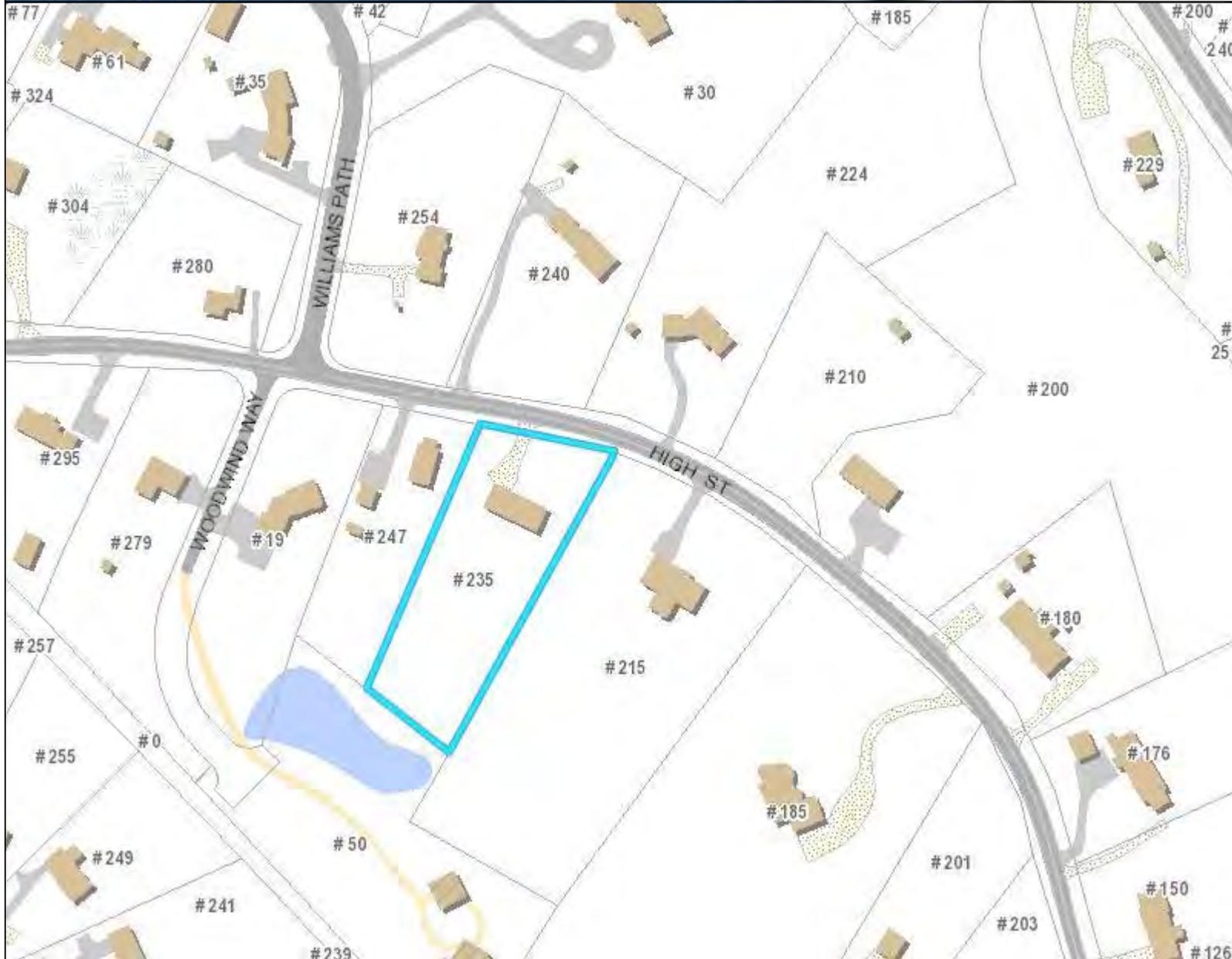


75'

25'

15'

Lot Line



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 5/12/2020



Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 5/12/2020



Approx. Scale: 1 inch = 83 feet



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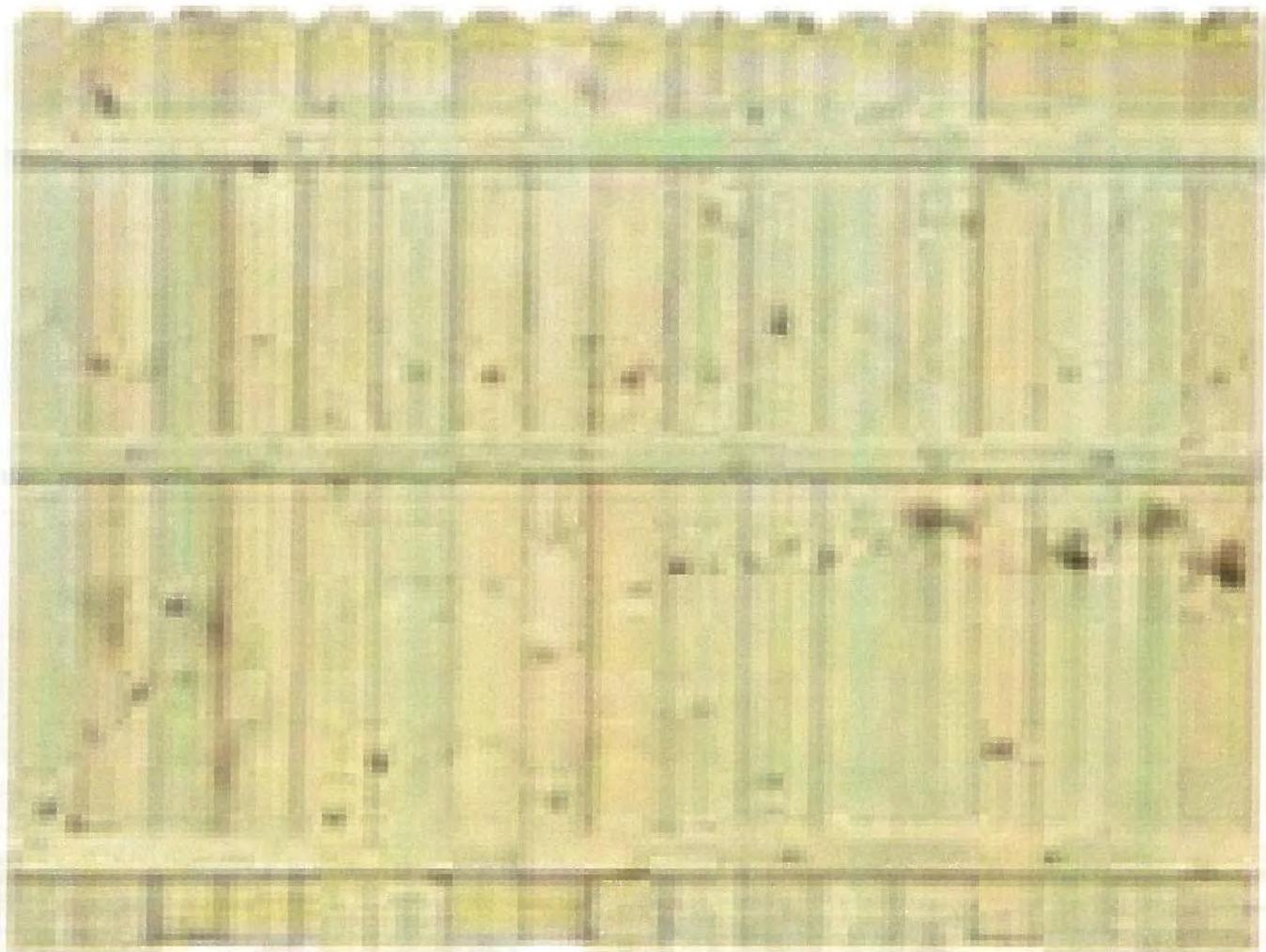


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



The Home Depot

[Visit](#)

8 ft H x 8 ft W Pressure-Treated Pine Dog-Ear Fence Panel

4  - (122) **Out of stock**

This heavy-duty pine fence panel features a classic dog ear design. The pre-built panel installs quickly and easily. Made from pressure-treated lumber, this

dog-ear pressure trea





Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date MAY 20, 2020 Address of Proposed work, Assessor's Map and lot # 2 / 333

House # 140 Street BRENTWOOD LANE Village: CUMMAQUID

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: REMOVE EXISTING POOL SHED.
BUILD NEW AUXILIARY BUILDING - POOL HOUSE / STORAGE

Agent or contractor (please print): GALVIN BROTHERS Tel. no. 508-648-8426

Address 139 THORNTON DR HYANNIS, MA 02601

Owner (please print): MARIE E. CARNEY KHAUD ZAATAR Tel. no. 508-776-0747

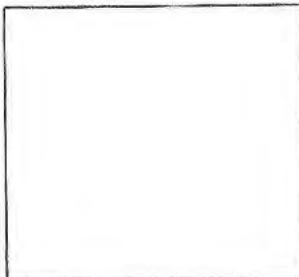
Owners mailing address: 140 BRENTWOOD LANE P.O. BOX 473 CUMMAQUID, MA 02637

Signed, Owner/Contractor/Agent Mary Elizabeth Carney

Checklist

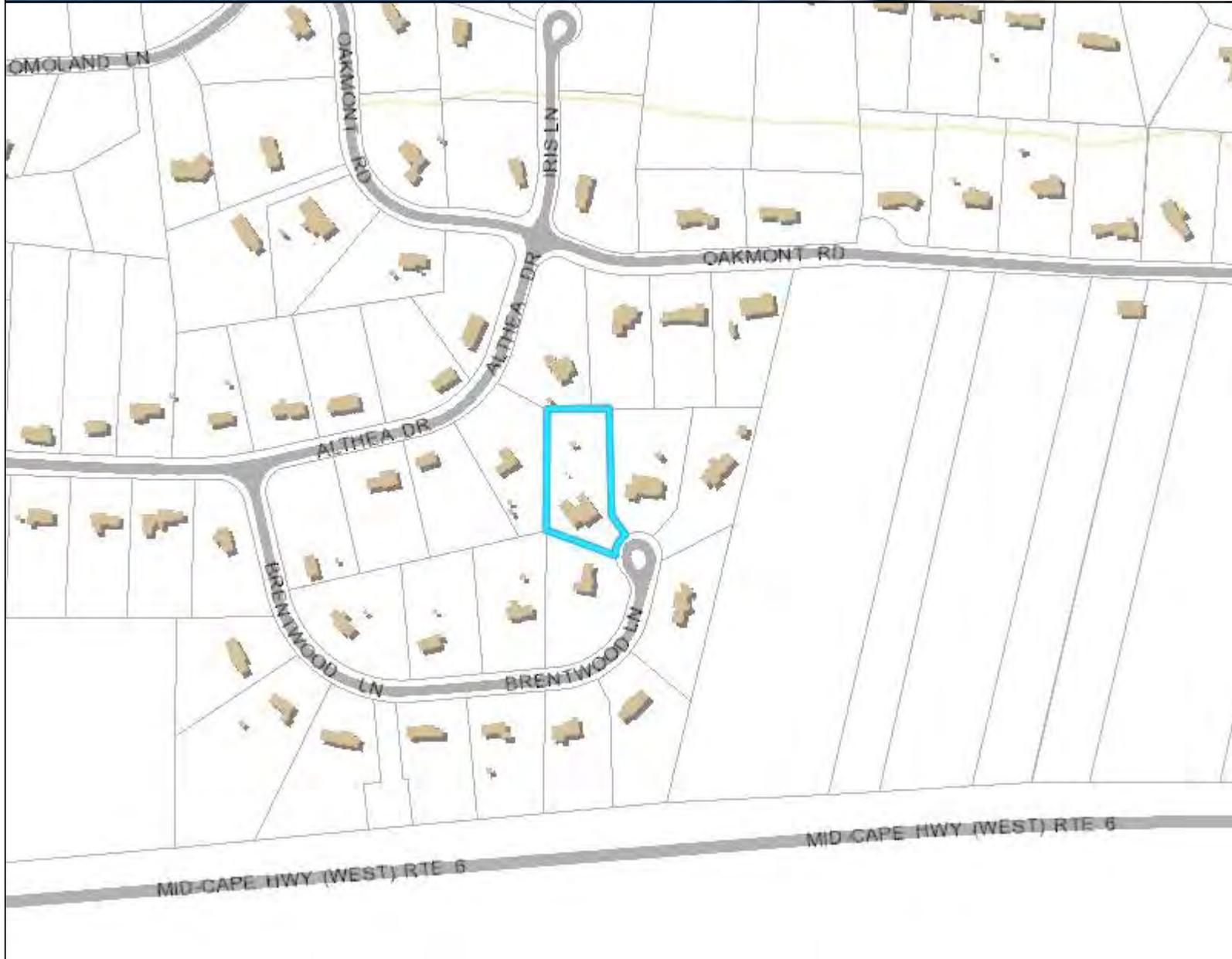
- Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

For Committee Use Only



This Certificate is hereby APPROVED/DENIED Date: _____
 Committee Members Signatures:

Conditions of approval: _____



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/8/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

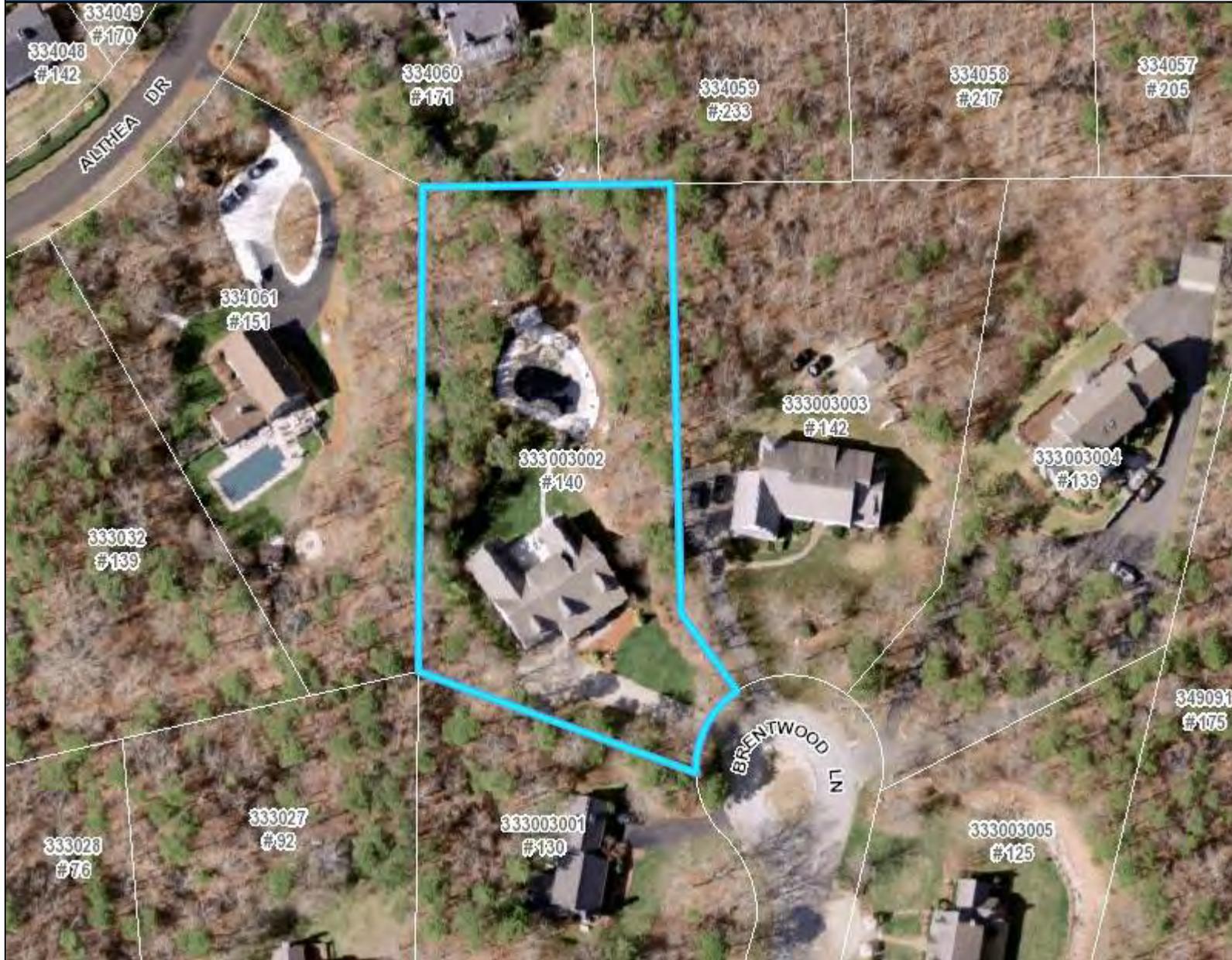
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 6/8/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

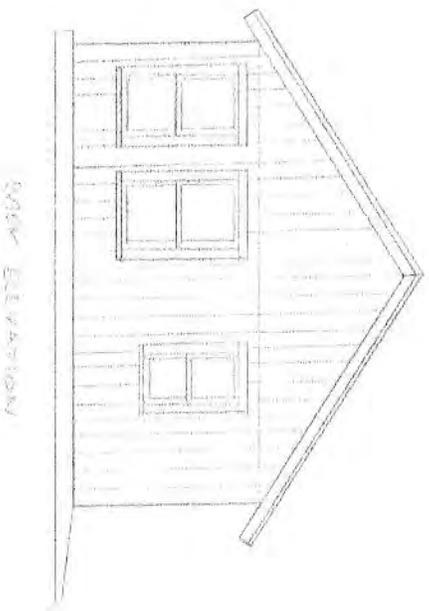
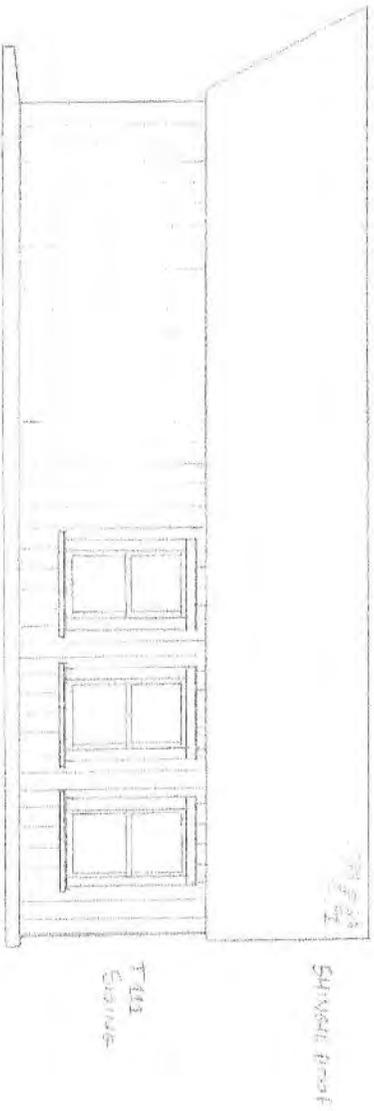
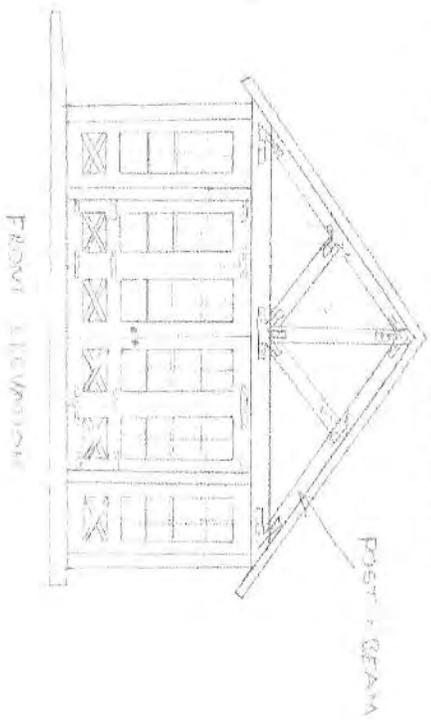
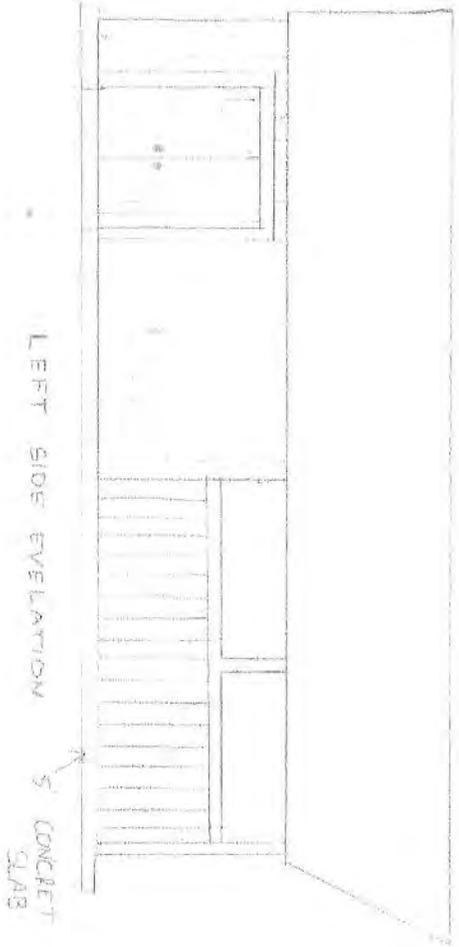
gis@town.barnstable.ma.us

Project Name Marybeth Carney Pool House

Address 140 Brentwood Ln Barnstable

Contractor Galvin Brothers
139 Thornton Drive Hyannis MA 02601

Scale 1/4 inch = 1ft **Drafted by** Pedrag Galvin **Date** 5/4/2020



SCALE
1/4" = 1'

JOB NO. 5-0391.00
 DWG. NO. 6034-01
 FILE: 30391-CPP.DWG
 CHECK: CRAIG FELD
 DRAWN: K. HEALY
 CALC./DESIGN: K. HEALY
 FIELD: C. O'LEARY
 PROJ. MGR.: CRAIG FELD

SCALE: 1" = 20'
 0 10 20 40
 0 2.5 5 10
 FEET METERS

349 Route 28, Unit D
 West Yarmouth, Massachusetts
 508 778 8919
 02673
BSC GROUP

PREPARED FOR:
 MARY ELIZABETH GARNER
 140 BRENTWOOD LANE
 YARMOUTH PORT, MA 02675
 LUVBOSOX@HOTMAIL.COM
 508-778-0747

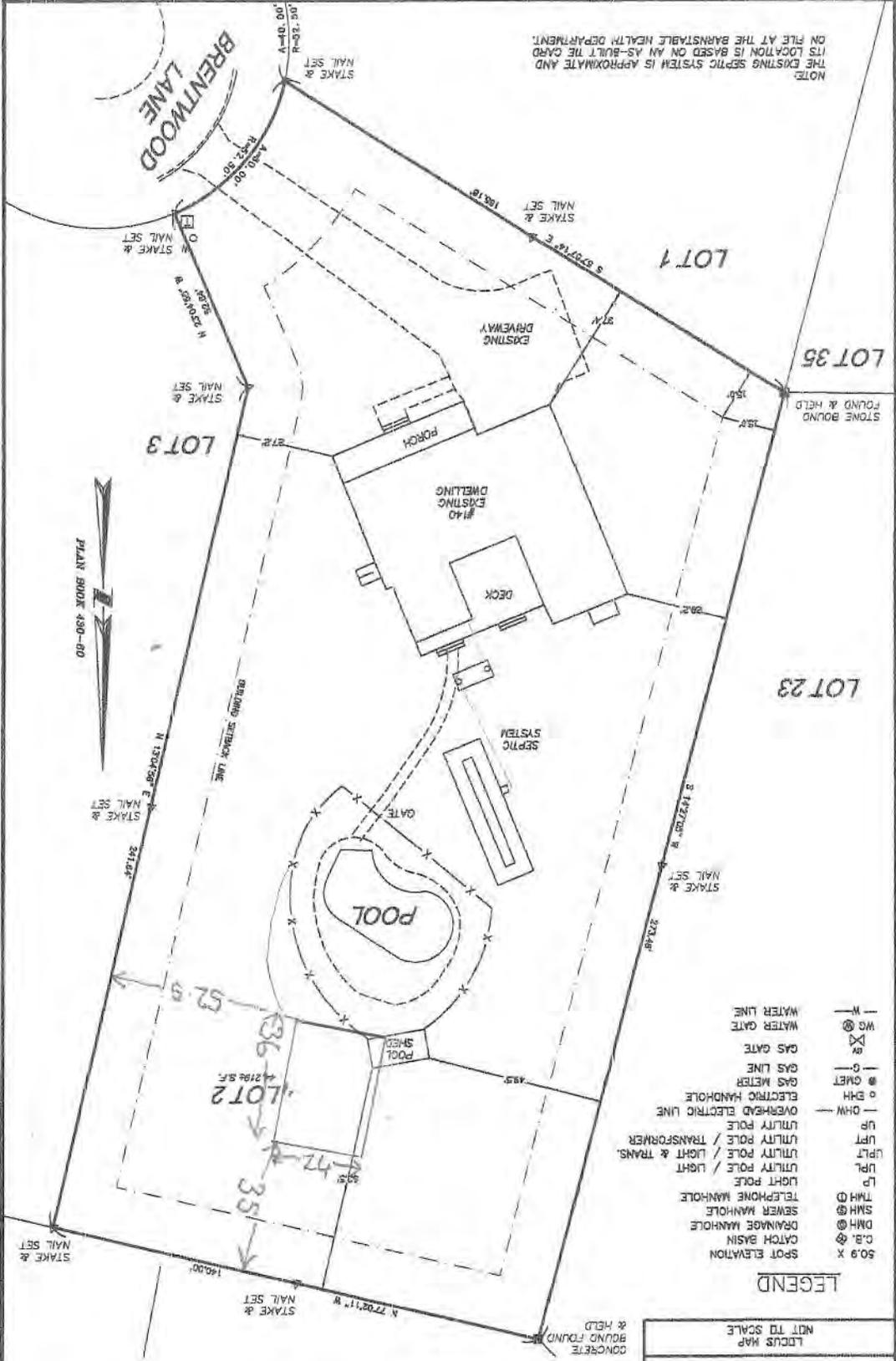
BARNSTABLE
 IN
 BRENTWOOD LANE
 AT
 #140

CERTIFIED PLOT PLAN
 BARNSTABLE MASSACHUSETTS
 (BARNSTABLE COUNTY)
 FEBRUARY 14, 2020

KIRWAN J. HEALY, PLS.
 FOR THE BSD GROUP, INC.

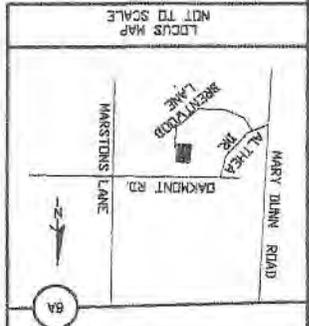
I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.

REVISIONS:
 NO. DATE DESC.



LOCUS INFORMATION
 CURRENT OWNER: MARY ELIZABETH GARNER
 TITLE REFERENCE: DEED BOOK 28485, PAGE 210
 PLAN REFERENCE: PLAN BOOK 430, PAGE 60
 ASSESSORS MAP: 333
 PARCEL: 003002
 ZONING DISTRICT: RE-1
 FRONT SETBACK: 30'
 SIDE SETBACK: 15'
 REAR SETBACK: 15'
 O'LEARY DISTRICT: O.K.H.
 NITROGEN SENSITIVE ZONE: NOT A ZONE II / A
 FEMA FLOOD ZONE DISTRICT: "X", DATED 7-16-14
 MINIMUM LOT SIZE: 43,580 S.F.
 EXISTING LOT SIZE: 44,219± S.F.
 EXISTING BUILDING COVERAGE: 4,558± S.F. (10.3%)

- LEGEND**
- 50.9 X SPOT ELEVATION
 - C.B. CATCH BASIN
 - DNH DRAINAGE MANHOLE
 - SMH SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - LP LIGHT POLE
 - UPL UTILITY POLE / LIGHT
 - UPLT UTILITY POLE / LIGHT & TRANS.
 - UPT UTILITY POLE / TRANSFORMER
 - UP UTILITY POLE
 - OHV OVERHEAD ELECTRIC LINE
 - EHV ELECTRIC HANDHOLE
 - GM GAS METER
 - GL GAS LINE
 - GG GAS GATE
 - WG WATER GATE
 - WL WATER LINE



NOTE:
 THE EXISTING SEPTIC SYSTEM IS APPROXIMATE AND
 ITS LOCATION IS BASED ON AN AS-BUILT THE CARD
 ON FILE AT THE BARNSTABLE HEALTH DEPARTMENT.





Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 5/24/20 Address of Proposed work, Assessor's Map and lot # 335-043

House # 39 Street BAYBERRY LANE Village: CUMMAQUID

This application is for an exemption of the proposed construction on the grounds that work:

Will not be visible from any way or public place

Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission

Other

Description of Proposed Work: _____

168 SQUARE FOOT ADDITION

Agent or contractor (please print): BLAKELY BUILDERS Tel. no. 508-776-4979

Address P.O. BOX 201 BARNSTABLE, MA 02630

Owner (please print): JOHN E. KILROY Tel. no. 774-836-7661

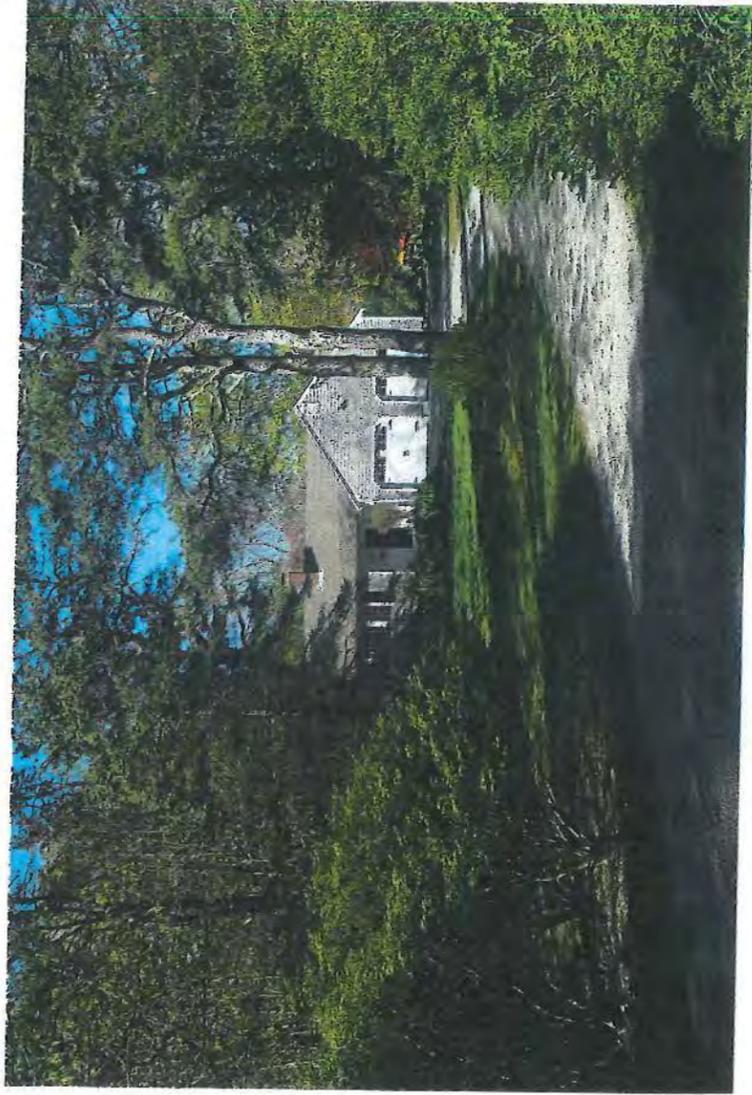
Owners mailing address: PO BOX 601 BARNSTABLE, MA 02630

Signed, Owner/Contractor/Agent [Signature]

Checklist

- Four complete sets of the application and supporting documentation
- \$ _____ Filing Fee (see attached schedule)

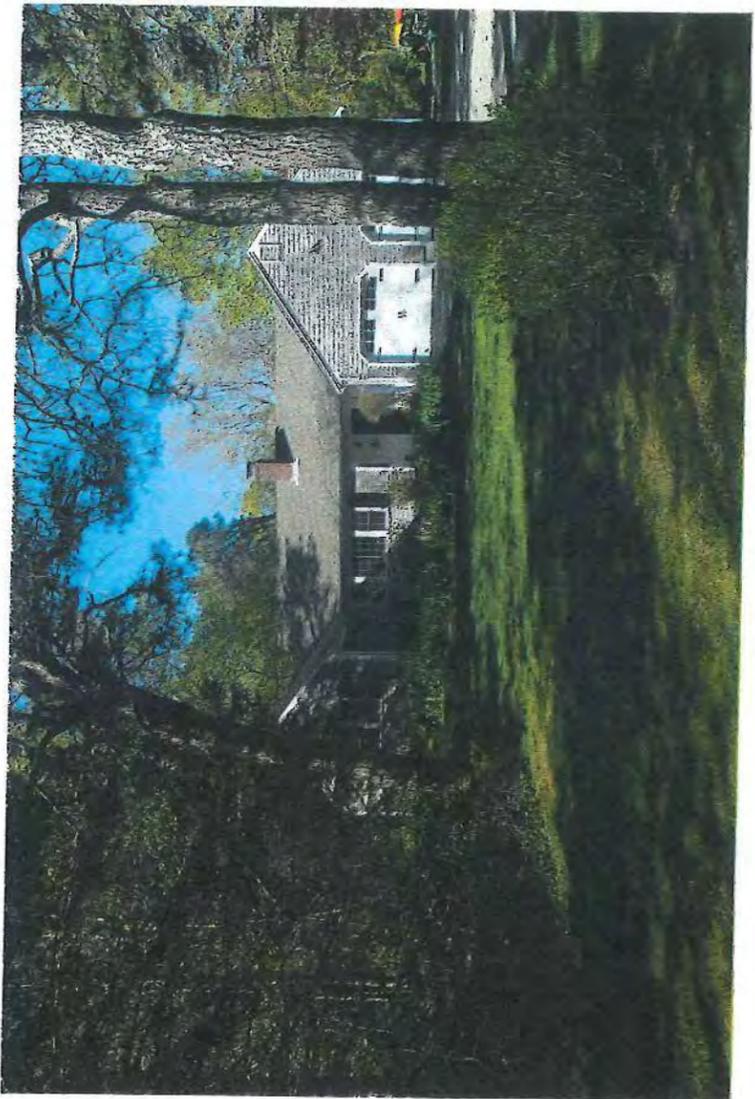
| | |
|-------------------------------|---|
| For Committee Use Only | This Certificate is hereby APPROVED/DENIED Date: _____ |
| | Committee Members Signatures: _____ |
| | _____ |
| | Conditions of approval: _____ |



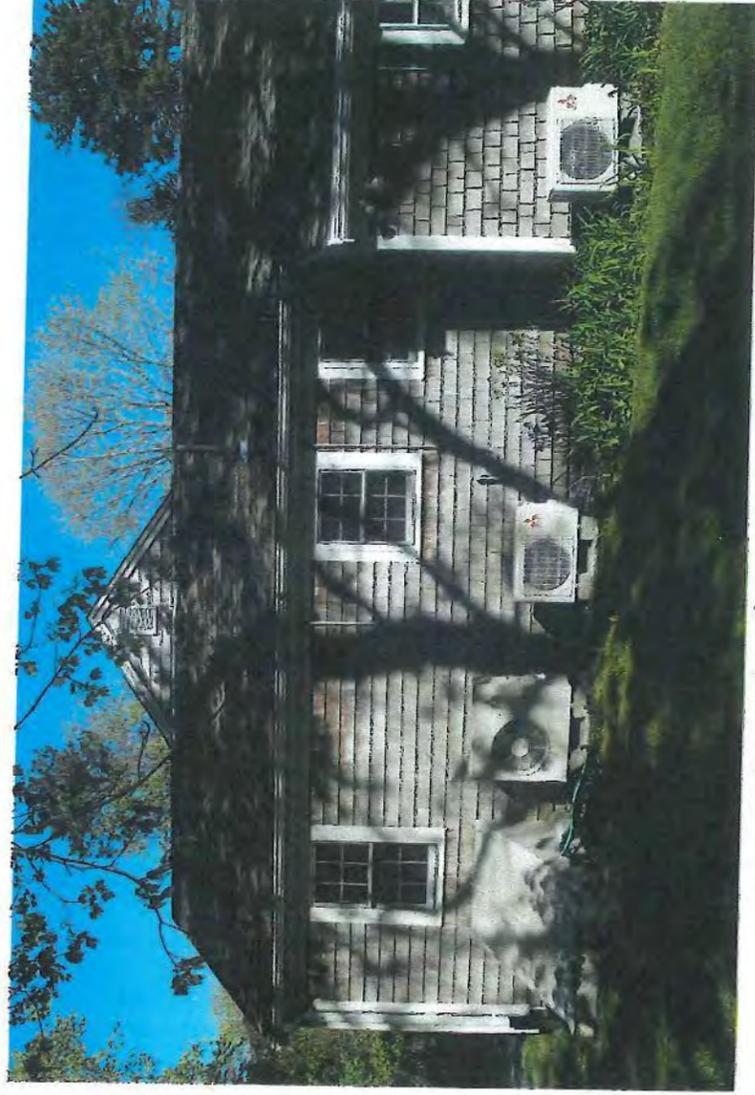
39 BAYBERRY LN. STREET VIEW
FRONT



STREET VIEW SE SIDE



FRONT



SITE OF PROPOSED
ADDITION

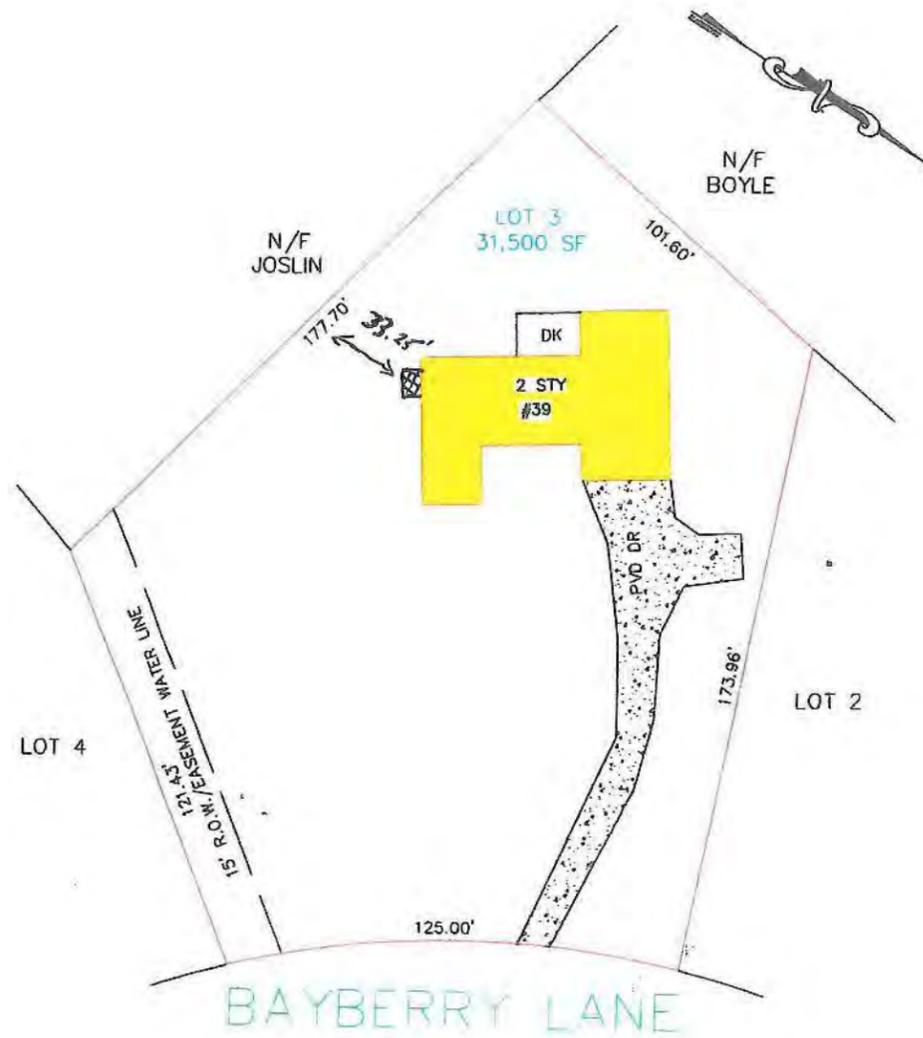
SOUTHEAST SIDE



| | | | |
|--|-----------------------------|---------------------|-----------------|
| File number: 150702-0 | UNREGISTERED LAND | | |
| Attorney: CAPE COD TITLE & ESCROW | <i>Deed Book</i> 13482 | <i>Page</i> 2 | |
| Lender: CAPE COD COOPERATIVE BANK | <i>Plan Book</i> 163 | <i>Page</i> 21 | <i>Lot(s)</i> 3 |
| Owner: KATHLEEN ELLISON NEWMAN | REGISTERED LAND | | |
| | <i>Reg. Book</i> | <i>Sheet</i> | <i>Lot(s)</i> |
| Date: 7/7/2015 | <i>Certificate of Title</i> | | |
| Assessor's Map 335 | Blk: Lot 43 | <i>Census Tract</i> | |

MORTGAGE INSPECTION PLAN
39 BAYBERRY LANE, CUMMAQUID, MA

Scale: 1"=50'



CERTIFICATION

I CERTIFY TO THE ABOVE ATTORNEY, BANK, AND THEIR TITLE INSURANCE COMPANY THAT THE MAIN BUILDING, FOUNDATION OR DWELLING WAS IN COMPLIANCE WITH THE LOCAL ZONING BYLAWS IN EFFECT WHEN CONSTRUCTED (WITH RESPECT TO STRUCTURAL SETBACK REQUIREMENTS ONLY) OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER MASS. GENERAL LAW TITLE VII, CHAPTER 40A, SECTION 7.

FLOOD DETERMINATION



NORTH EAST
FRONT ELEVATION



SOUTH EAST
LEFT ELEVATION



SOUTH WEST
REAR ELEVATION

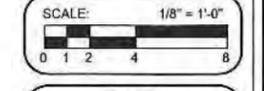
| # | DATE | REVISIONS |
|---|------|-----------|
| | | |

BUILDER:
BLAKELY BUILDERS
phone: 508.776.4879

Designed by:
Main Street Custom Design, LLC
86 Willow Street
Yarmouth Port MA, 02675
774.944.7943
mainstreetcustomdesign.com

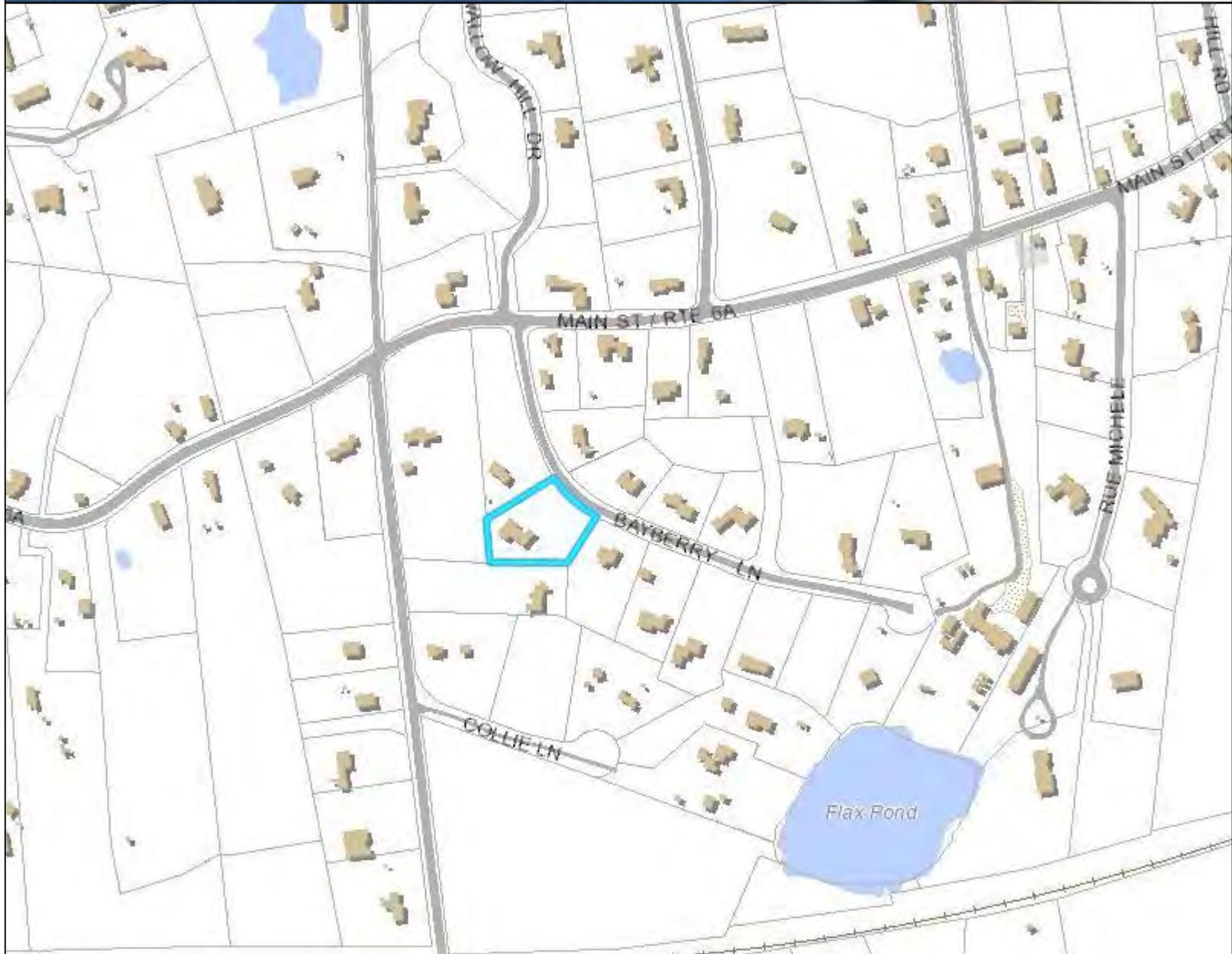
PROPOSED
KILROY RESIDENCE
38 BAYBERRY LANE
BARNSTABLE, MA.

SHEET:
ELEVATIONS



| | |
|------------|-------------|
| SHEET | |
| A.1 | OF 4 |
| PROJECT: | DATE: |
| 20-550 | 3/18/20 |

THESE PLANS ARE IN COMPLIANCE WITH THE WIND ZONE REQUIREMENT FOR 780 CMR 9th EDITION MA STATE BUILDING CODE / 140 MPH WIND ZONE



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/10/2020



Approx. Scale: 1 inch = 333 feet



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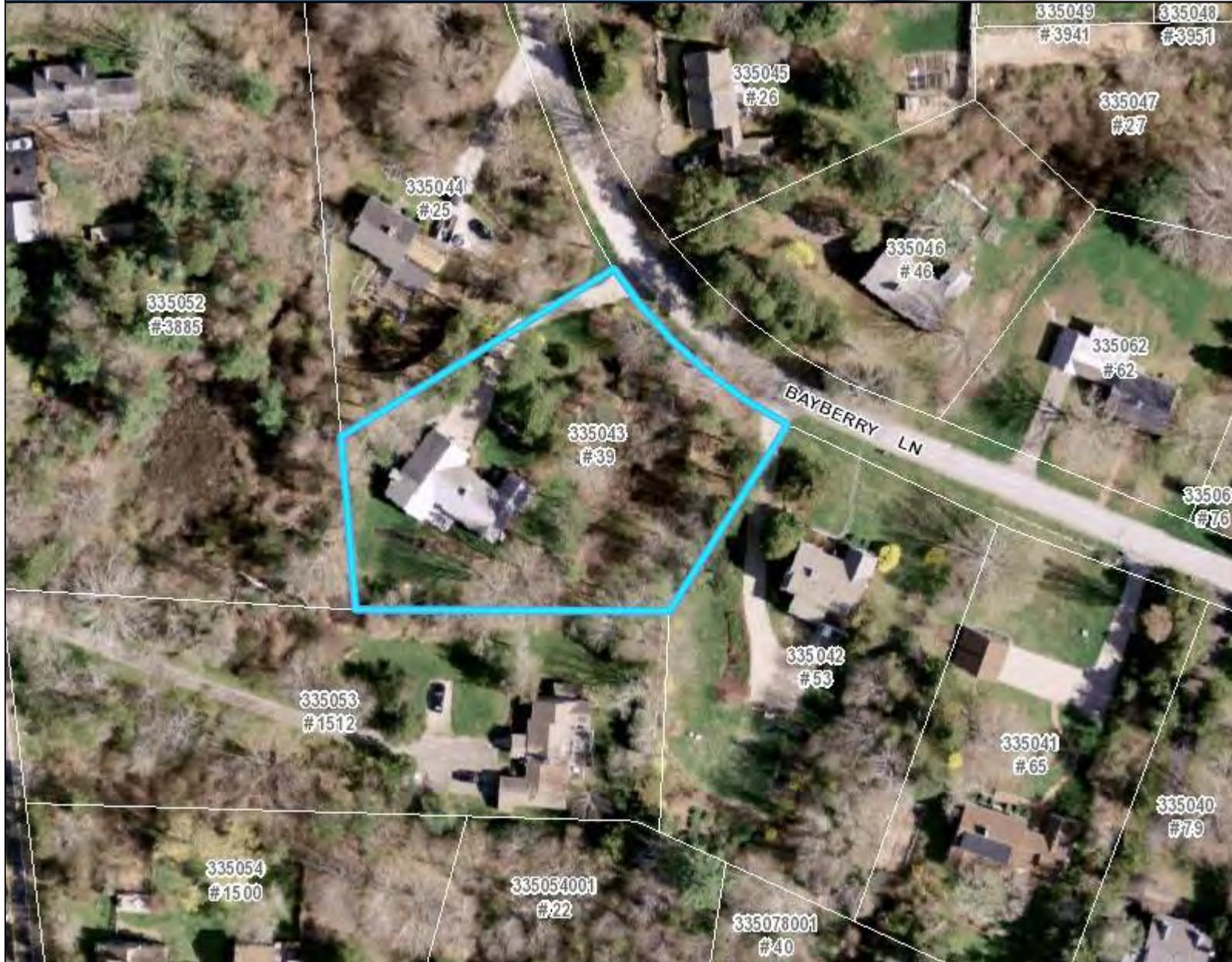


Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 6/10/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

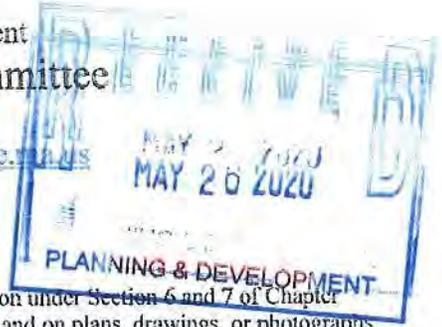
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us



CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date MAY 18, 2020 Address of Proposed work, Assessor's Map and lot # LOT 14 PARCEL ID 336-032

House # 156 Street TONELA LANE Village: CUMMAQUID

This application is for an exemption of the proposed construction on the grounds that work:

Will not be visible from any way or public place

Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission

Other

Description of Proposed Work: SPLIT RAIL FENCE (TWO RAIL) TO ENCLOSE THE YARD
BEHIND THE HOUSE. ESTIMATE 24 SECTIONS WITH 11 FOOT
RAILS BETWEEN FENCE POSTS, ALL WOOD NATURAL,
UNPAINTED WOOD. HEIGHT OF FENCE IS 3 FEET,
8 INCHES ABOVE GROUND.

Agent or contractor (please print): N/A Tel. no. _____
 Address _____
 Owner (please print): JOSEPH + SARAH FLYNN Tel. no. 757-580-4322
 Owners mailing address: P.O. Box 545, Cummaquid, MA 02637
 Signed, Owner/Contractor/Agent [Signature]

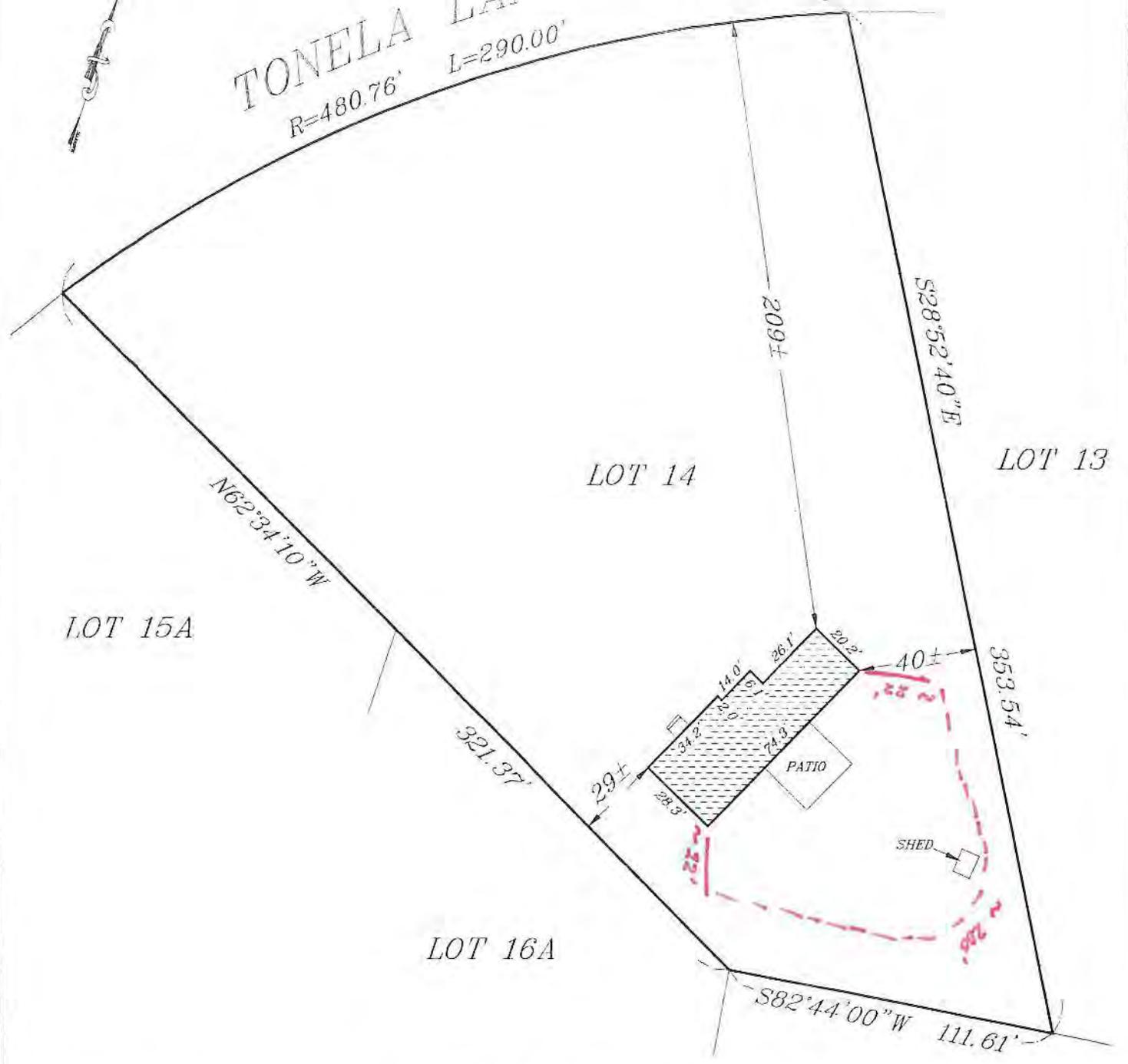
Checklist Email address: jflynn22251@gmail.com

Four complete sets of the application and supporting documentation

\$ _____ Filing Fee (see attached schedule)

| | |
|---|---|
| <p>For Committee Use Only</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div> | <p>This Certificate is hereby APPROVED/DENIED Date: _____</p> <p>Committee Members Signatures: _____</p> <p>_____</p> <p>_____</p> |
| | <p>Conditions of approval: _____</p> |

TONELA LANE
 R=480.76' L=290.00'



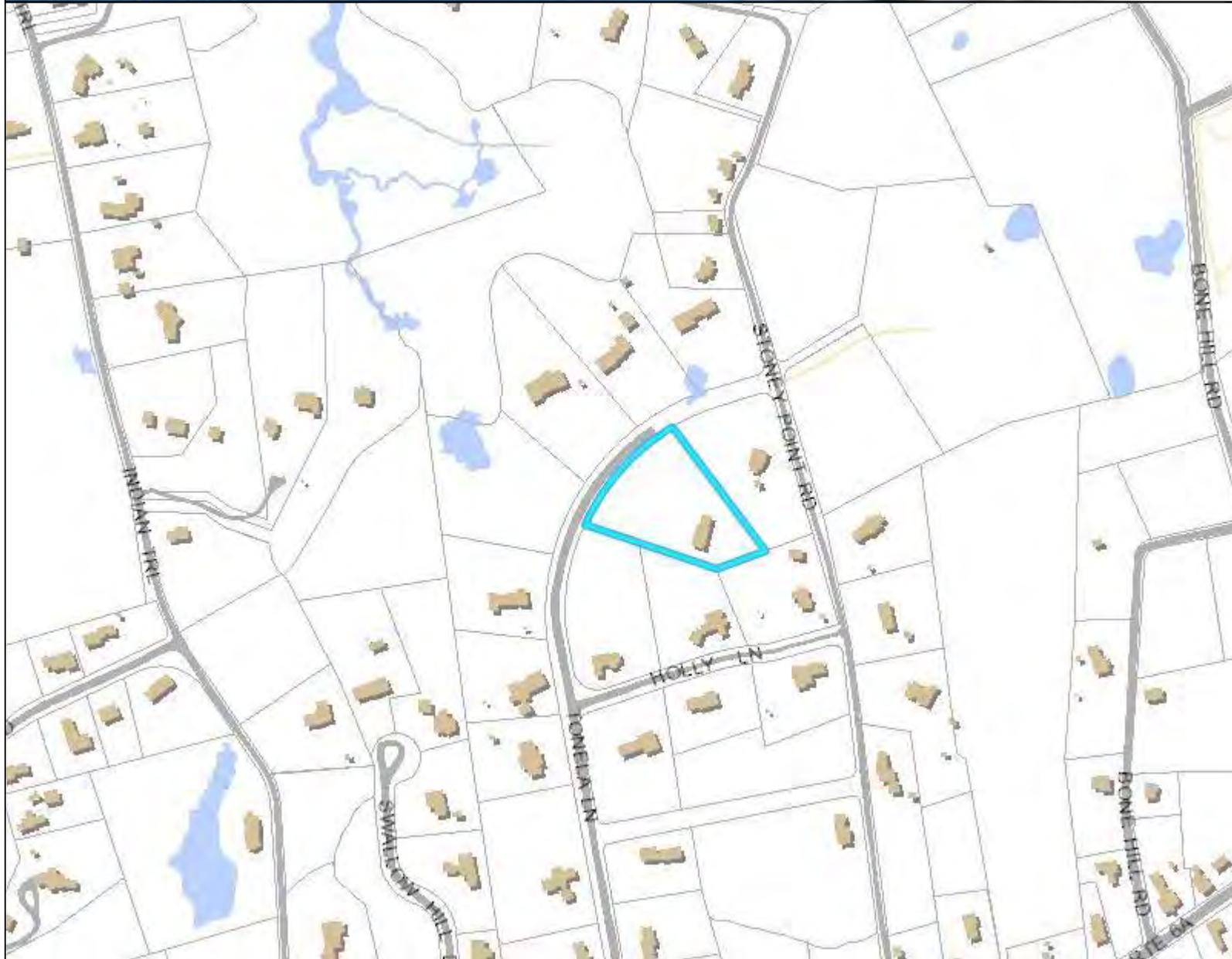
RES. ZONE: "RF1" This MORTGAGE INSPECTION Plan is For FLOOD ZONE: "C"
 Bank Use Only
 TOWN: CUMMAQUID REGISTRY OWNER: JO-ANN S. McDERMOTT
 DEED REF: 6081/81 BUYER: FREDERICK P. & ELLIN B. GALLAGHER
 DATE: 9/21/93 PLAN REF: 259/93 SCALE: 1" = 50 FT.

I HEREBY CERTIFY TO PLYMOUTH MORTGAGE CO.
 THAT THE BUILDING SHOWN ON THIS PLAN IS LOCATED ON THE GROUND AS SHOWN AND THAT ITS POSITION DOES CONFORM TO THE ZONING LAW SETBACK REQUIREMENTS OF THE TOWN OF BARNSTABLE AND THAT IT DOES NOT LIE WITHIN THE SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE H.U.D. MAP DATED 7/2/92
 Community-Panel # 250001 0001 D



YANKEE SURVEY CONSULTANTS
 40B (SUITE 1)
 INDUSTRY ROAD
 MARSTONS MILLS, MA. 02648
 TEL: 428-0055
 FAX: 420-5553

Paul A. Merithew
 PAUL A. MERITHEW, PLS THIS PLAN NOT MADE FROM AN INSTRUMENT SURVEY. NOT TO BE USED FOR FENCES, ETC. 12542 BJS



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/10/2020



Approx. Scale: 1 inch = 333 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 6/10/2020



Approx. Scale: 1 inch = 83 feet



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Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 5/26/20 Address of Proposed work, Assessor's Map and lot # 195/024
 House # 126 Street Plum Street Village: West Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

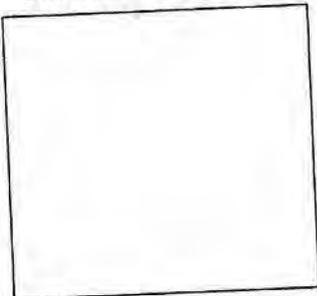
Description of Proposed Work: Remove second floor middle window (of 3) and move left window 8 inches to the right to make room for interior wall. East side of house.

Agent or contractor (please print): _____ Tel. no. _____
 Address _____
 Owner (please print): Matthew + Kimberly Borowski Tel. no. 508-364-9639
 Owners mailing address: 126 Plum Street, W. Barnstable, MA 02668
 Signed, Owner/Contractor/Agent [Signature]

Checklist

- Four complete sets of the application and supporting documentation
- \$ 40 Filing Fee (see attached schedule)

For Committee Use Only



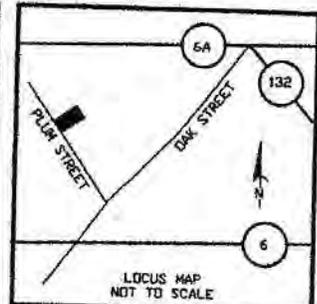
This Certificate is hereby APPROVED/DENIED Date: _____
 Committee Members Signatures: _____

Conditions of approval: _____

LOCUS INFORMATION

CURRENT OWNER: MATTHEW BOROWSKI
 KIMBERLY BOROWSKI
 TITLE REFERENCE: DEED BOOK 32899, PAGE 81
 PLAN REFERENCE: PLAN BOOK 534, PAGE 9
 ASSESSORS MAP: 183
 PARCEL: 024
 ZONING DISTRICT: RF
 SETBACKS: FRONT 30'
 SIDE 15'
 REAR 15'
 OVERLAY DISTRICT: AP / OXH
 NITROGEN SENSITIVE ZONE: NOT A ZONE II

FEMA FLOOD ZONE DISTRICT: "X", DATED 7/16/14
 PANEL #26001C0553J
 MINIMUM LOT SIZE: 87,120 S.F.
 EXISTING LOT SIZE: 91,508± S.F.
 EXISTING BUILDING COVERAGE: 3,589± S.F. (3.9%)



I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE LOT CORNERS, DIMENSIONS AND SETBACKS TO THE STRUCTURE AS DETERMINED BY INSTRUMENT SURVEY AND AS SHOWN ON THIS PLAN ARE CORRECT.



Kieran J. Healy 5/1/2020
 KIERAN J. HEALY, P.E. DATE
 FOR THE BSC GROUP, INC.

CERTIFIED PLOT PLAN
 AT
#126 PLUM STREET
 IN
WEST BARNSTABLE MASSACHUSETTS
 (BARNSTABLE COUNTY)
 MAY 1, 2020

REVISIONS:
 NO. DATE DESC.

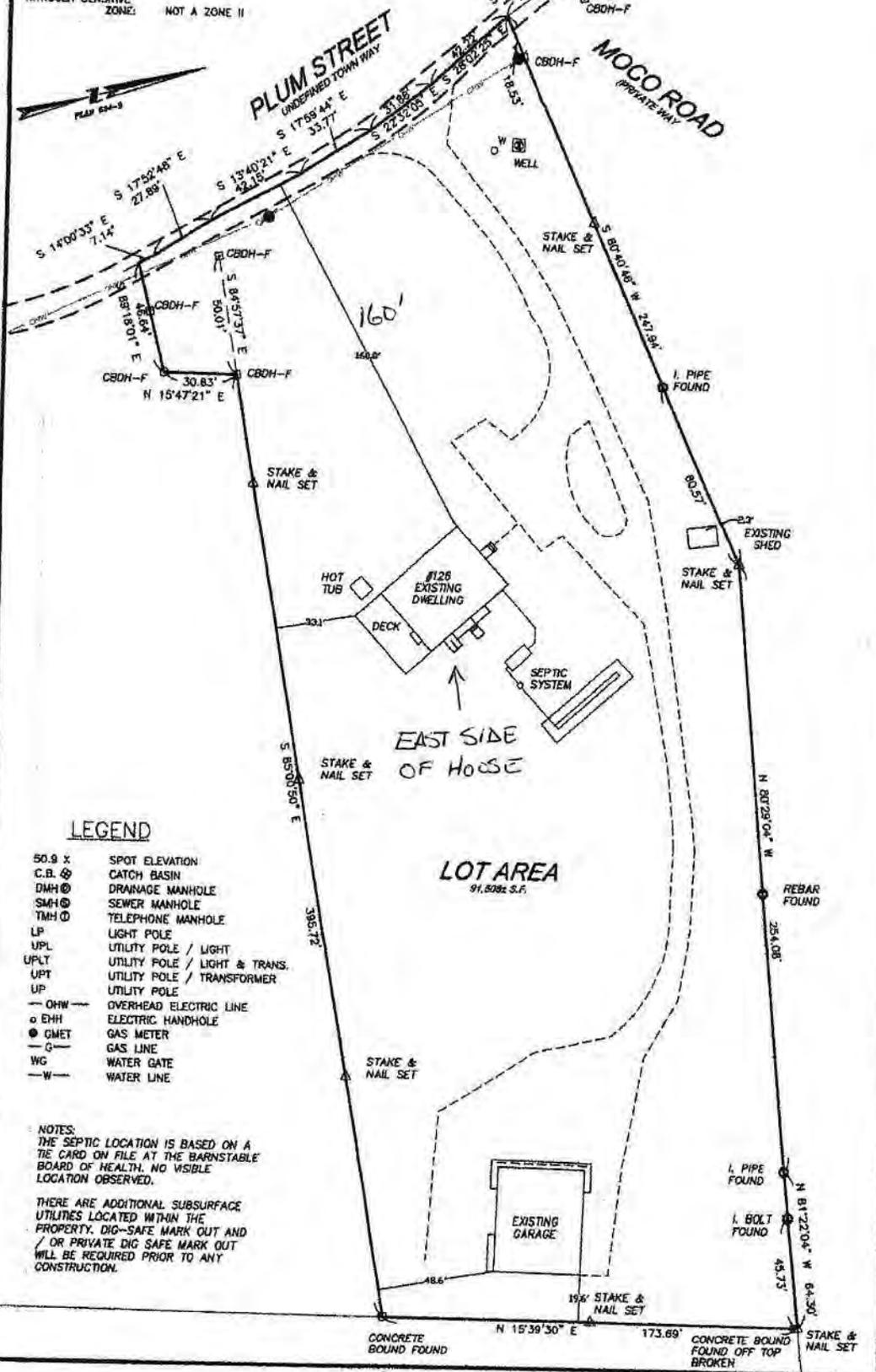
PREPARED FOR:
KIM & MATT BOROWSKI
 126 PLUM STREET
 WEST BARNSTABLE, MA 02668
 508-776-8041
 kim@creconst.com

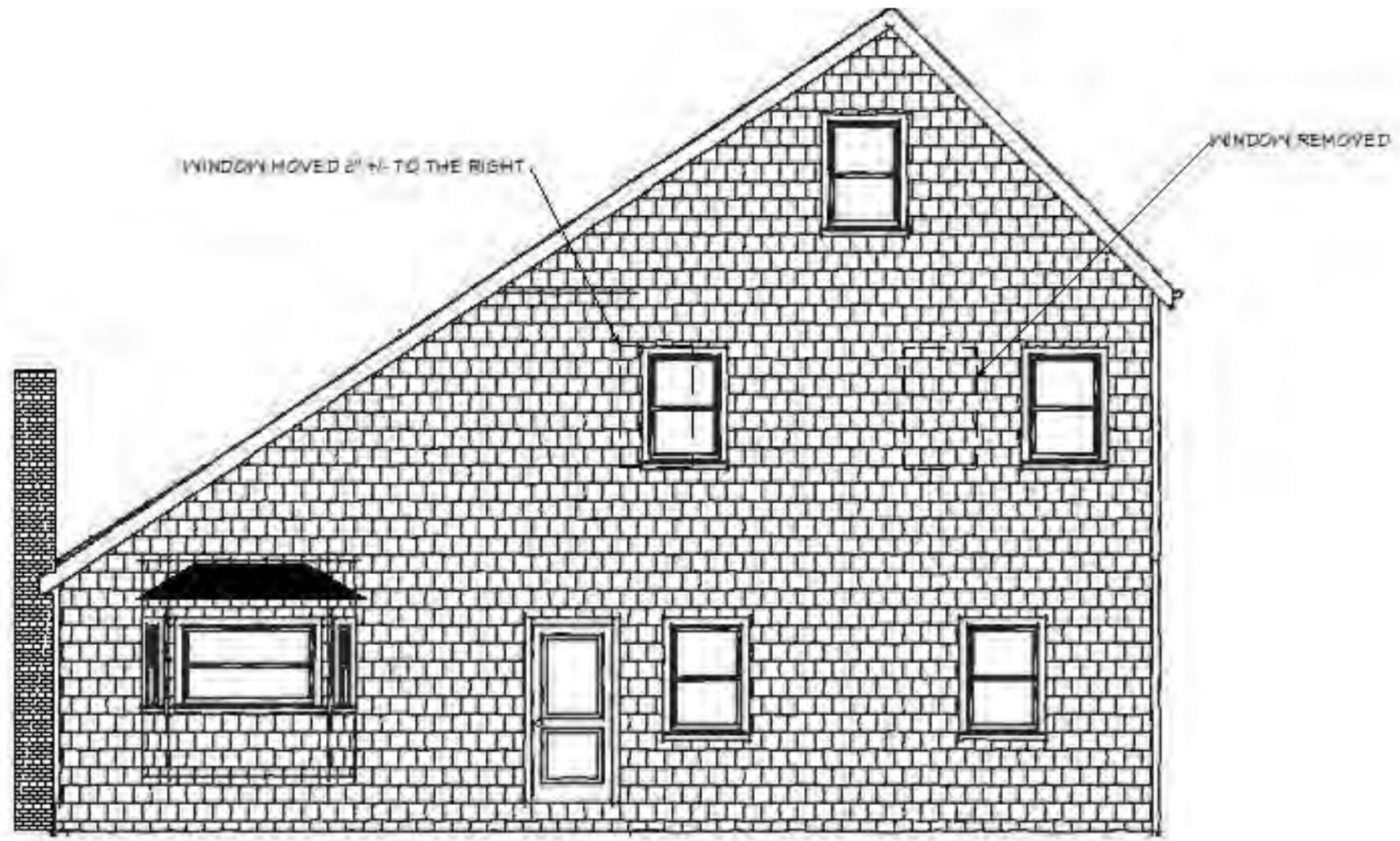
BSC GROUP
 349 Route 28, Unit D
 West Yarmouth, Massachusetts
 02673
 508 778 8919

© 2020 The BSC Group, Inc.

SCALE: 1" = 30'
 0 3.75 7.5 15 30 60 120 FEET

| | |
|-------------------------|--------------|
| PROJ. MGR.: CRAIG FIELD | |
| FIELD: C. O'LEARY | |
| CALC./DESIGN: K. HEALY | |
| DRAWN: K. HEALY | |
| CHECK: CRAIG FIELD | |
| FILE: 50405-OPP.DWG | |
| DWG. NO: 6648.01 | |
| JOB. NO: 5-0405.00 | SHEET 1 OF 1 |





WINDOW MOVED 2" IN TO THE RIGHT

WINDOW REMOVED

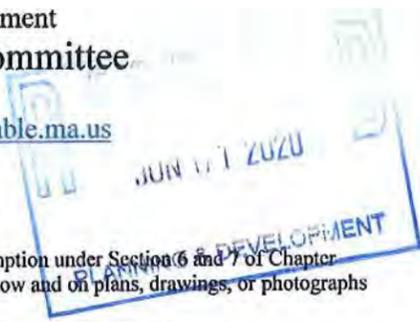
EAST ELEVATION

126 PLUM ST
VI. BARNSTABLE

MATT & KIM BOROWSKI
508-364-9839



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us



CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date _____ Address of Proposed work, Assessor's Map and lot # 217-17

House # 29 Street Maggie Lane Village: Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

Will not be visible from any way or public place

Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission

Other

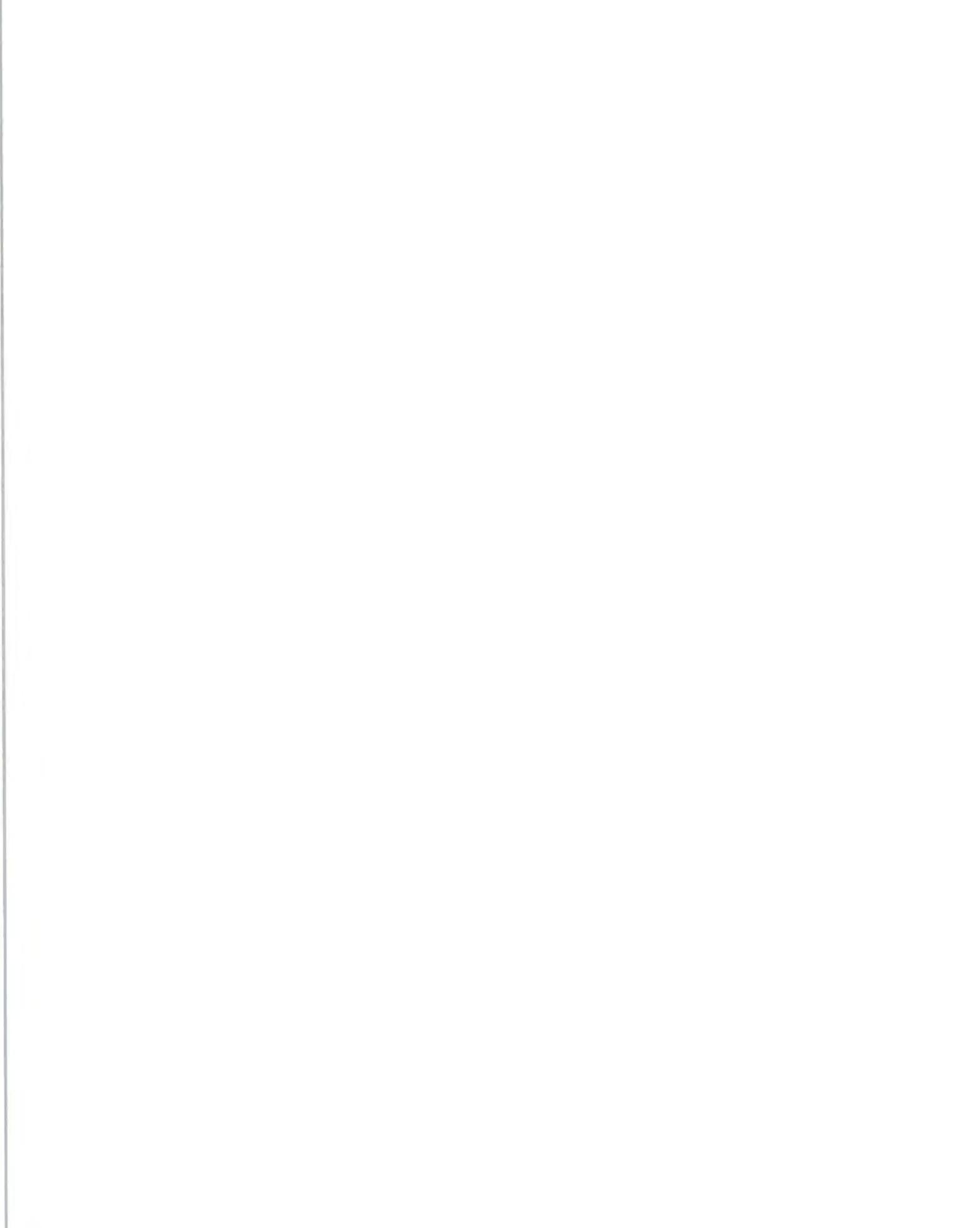
Description of Proposed Work: To construct a 10' x 10' shed placed on solid concrete blocks. The shed will consist of a 3' beaded door and a 5' beaded double doors, both will be painted to match the existing house. The shed will also has a single wing u/v vinyl opening window, all pvc white trim with natural cedar shingles for the front wall. The remaining walls will be board and batten siding. The roof will be a 10/12 pitch with arch weathered

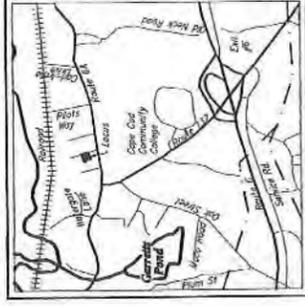
wood roof shingles.

Agent or contractor (please print): Pine Harbor Wood Products Tel. no. 508-430-2800
 Address 259 Queen Anne Road, Harwich, MA 02045
 Owner (please print): Andrew Harvey Tel. no. 508-302-0425
 Owners mailing address: 29 Maggie Lane, Barnstable, MA 02030
 Signed, Owner/Contractor/Agent _____

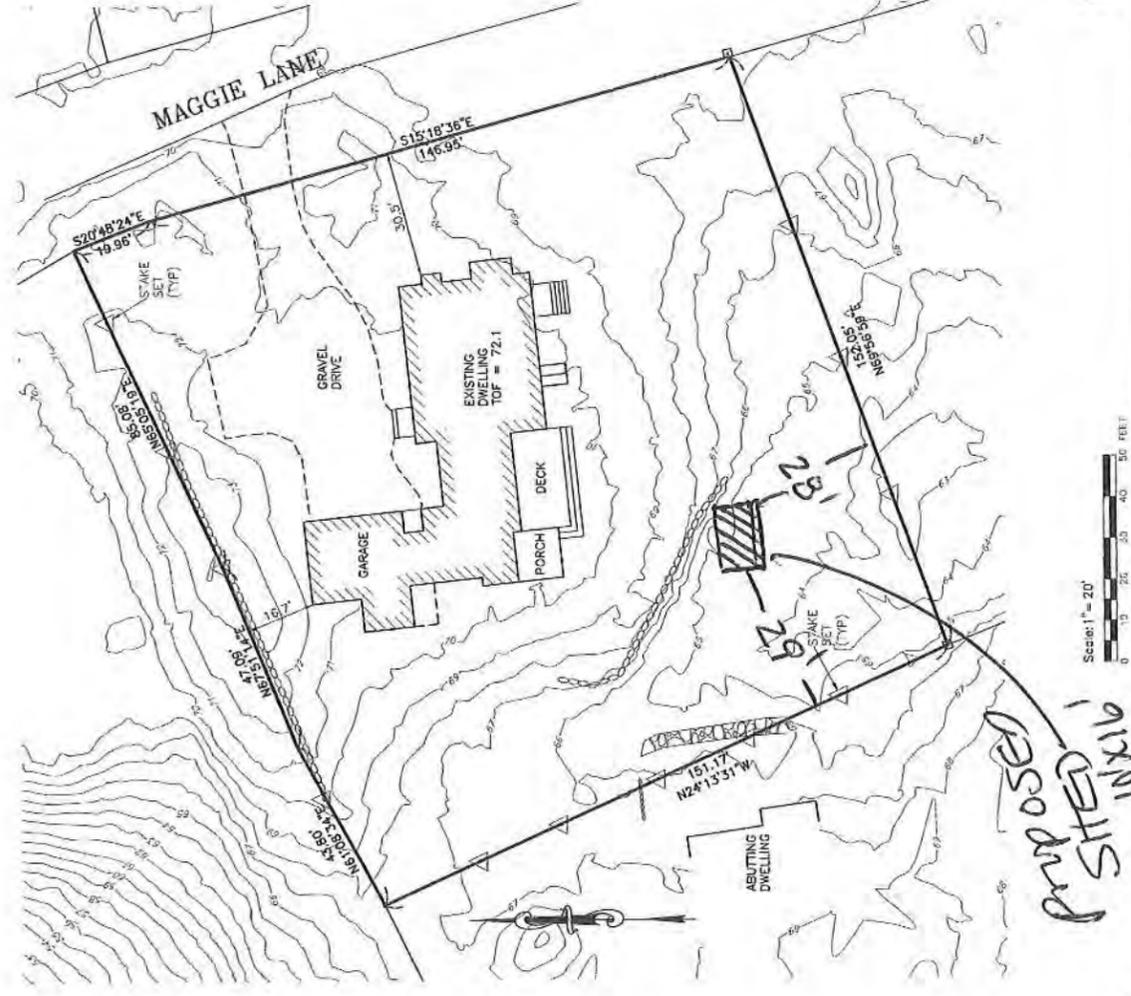
- Checklist**
- Four complete sets of the application and supporting documentation
 - \$ _____ Filing Fee (see attached schedule)

| | |
|-------------------------------|---|
| For Committee Use Only | This Certificate is hereby APPROVED/DENIED Date: _____ |
| | Committee Members Signatures: _____ _____ _____ |
| | Conditions of approval: _____ |





LOCUS MAP
SCALE 1"=2000'
ASSESSORS MAP 217 PARCEL 17



DCE #19-379

ZONING SUMMARY

ZONING DISTRICT: RF DISTRICT
 MIN. LOT SIZE 87120 SF.
 MIN. LOT FRONTAGE 150'
 MIN. FRONT SETBACK 30'
 MIN. SIDE SETBACK 15'
 MIN. REAR SETBACK 15'
 MAX. BUILDING HEIGHT 30'

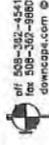
SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT
 SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

EXISTING CONDITIONS SITE PLAN

OF
#29 MAGGIE LANE WEST BARNSTABLE, MA

PREPARED FOR
STEPHEN KLUG

DATE: NOV. 25, 2019



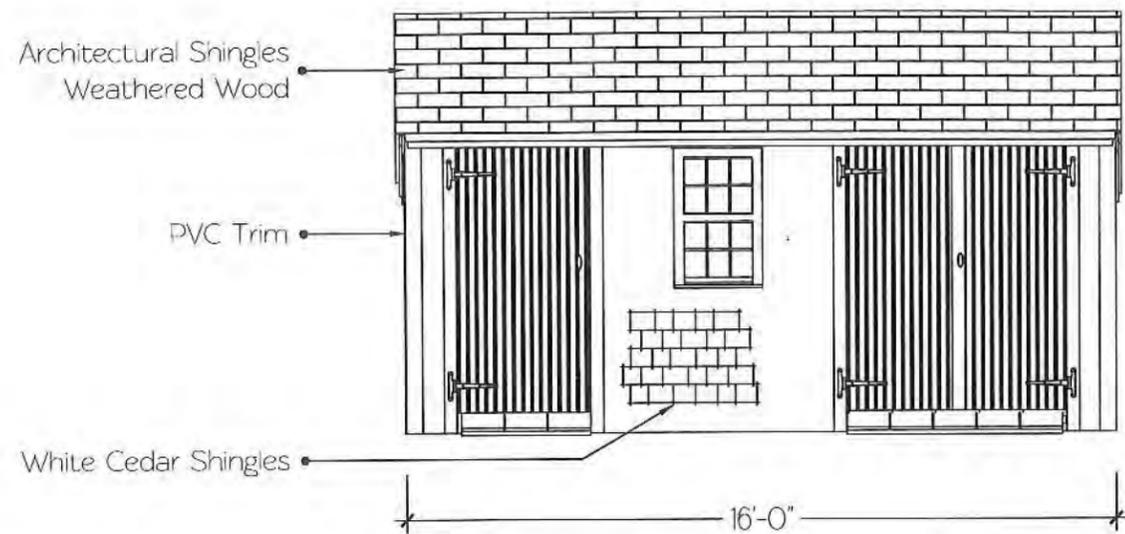
down cape engineering, inc.
 civil engineers
 land surveyors
 939 Main Street (Rte 6A)
 YARMOUTHPORT MA 02675



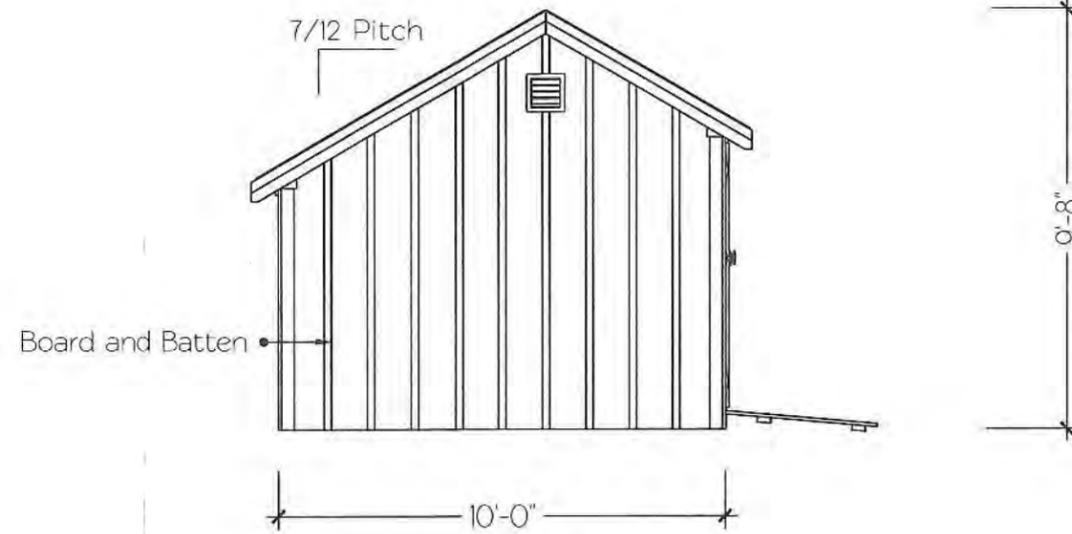
DATE 11-25-19
 D. Ojala
 DANIEL A. OJALA, P.E., P.L.S.

*Proposed
 Shed
 10x16*

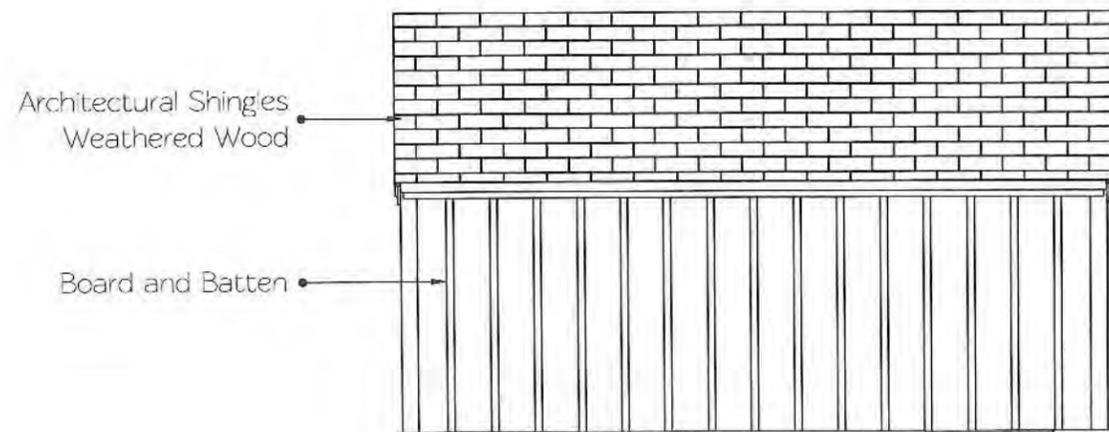
1 Front Elevation
SCALE: 1/4" = 1'-0"



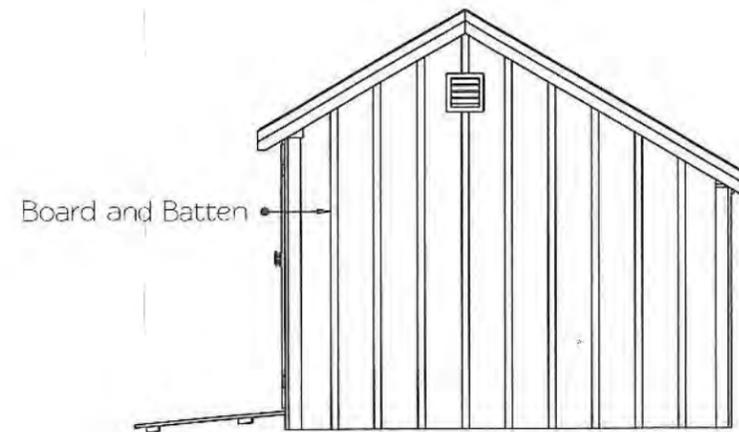
2 Left Elevation
SCALE: 1/4" = 1'-0"



3 Rear Elevation
SCALE: 1/4" = 1'-0"



4 Right Elevation
SCALE: 1/4" = 1'-0"



PINEHARBOR.COM
1-800-368-SHED

259 Queen Anne Road
Harwich, MA 02645
p: (508) 430-2800
f: (508) 430-1115
barns@pinoharbor.com

ENGINEER'S STAMP

PROJECT:

10' x 16' Stony Brook

CLIENT:

Andy Harvey

ADDRESS:

29 Maggie Lane
Barnstable, MA 02668

PHONE:

508-362-0425

E-MAIL:

andy@29maggie.com

ADDRESS OF PROPOSED WORK:

29 Maggie Lane
Barnstable, MA 02668

REVISION DATE:

5/19/20

DRAWN BY:

GB

Scale 1/4" = 1'-0"
Unless otherwise noted



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 5-29-2020

Address of Proposed work, Assessor's Map and lot # _____

House # 604 Street CRAND ST Village: _____

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

Description of Proposed Work: EXTEND WIDTH OF EXISTING DECK
APPROXIMATELY 7'. ONE POSTING WILL BE REPLACED,
REMOVE OLD STAIRS AND NEW WOOD AROUND STAIRS.
REMOVE EXISTING DECKING AND REPLACE WITH LIKE
KIND, REMOVE EXISTING RAILING WITH NEW
WITH 1 1/2" BALUSTERS 4" APART.

Agent or contractor (please print): ROBERT B. DEWIS Tel. no. 617-570-6879

Address 17 EDITH AVE BUZZARDS BAY, MA 02532

Owner (please print): HILARY SUMNER LISA HANCOCK Tel. no. 508 367-4523

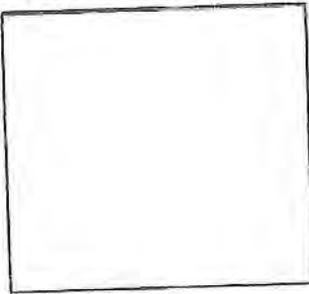
Owners mailing address: 604 CRAND ST, WEST BARNSTABLE, MA 02668

Signed, Owner/Contractor/Agent [Signature]

Checklist

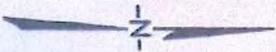
- Four complete sets of the application and supporting documentation
- \$ 30 Filing Fee (see attached schedule)

For Committee Use Only



This Certificate is hereby APPROVED/DENIED Date: _____
 Committee Members Signatures: _____

Conditions of approval: _____



CEDAR STREET

3.05.92.009=79.14'
12.25'
R=221.20'

WELL

A=69.71'
R=179.19'

REBAR
CIBDH



21.29'

SHED

397.20'
579.40' 50"W

N68°23'31"E
384.10'

LOT 34A
47,636 SF +/-
1.09 AC +/-

80.00'
N12°53'33"W

CERTIFIED PLOT PLAN

LOCUS: 604 CEDAR STREET, BARNSTABLE, MA
PREPARED FOR: LISA C. HENDRICKSON & HILARY A. SANDLER
DATE: 7/9/13
SCALE: 1"=50'

I HEREBY CERTIFY THAT THE STRUCTURES SHOWN ON THIS PLAN EXIST ON THE GROUND AS SHOWN HEREON.

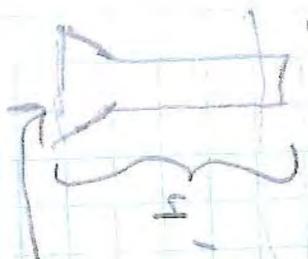
[Handwritten signature]
P.L.S.



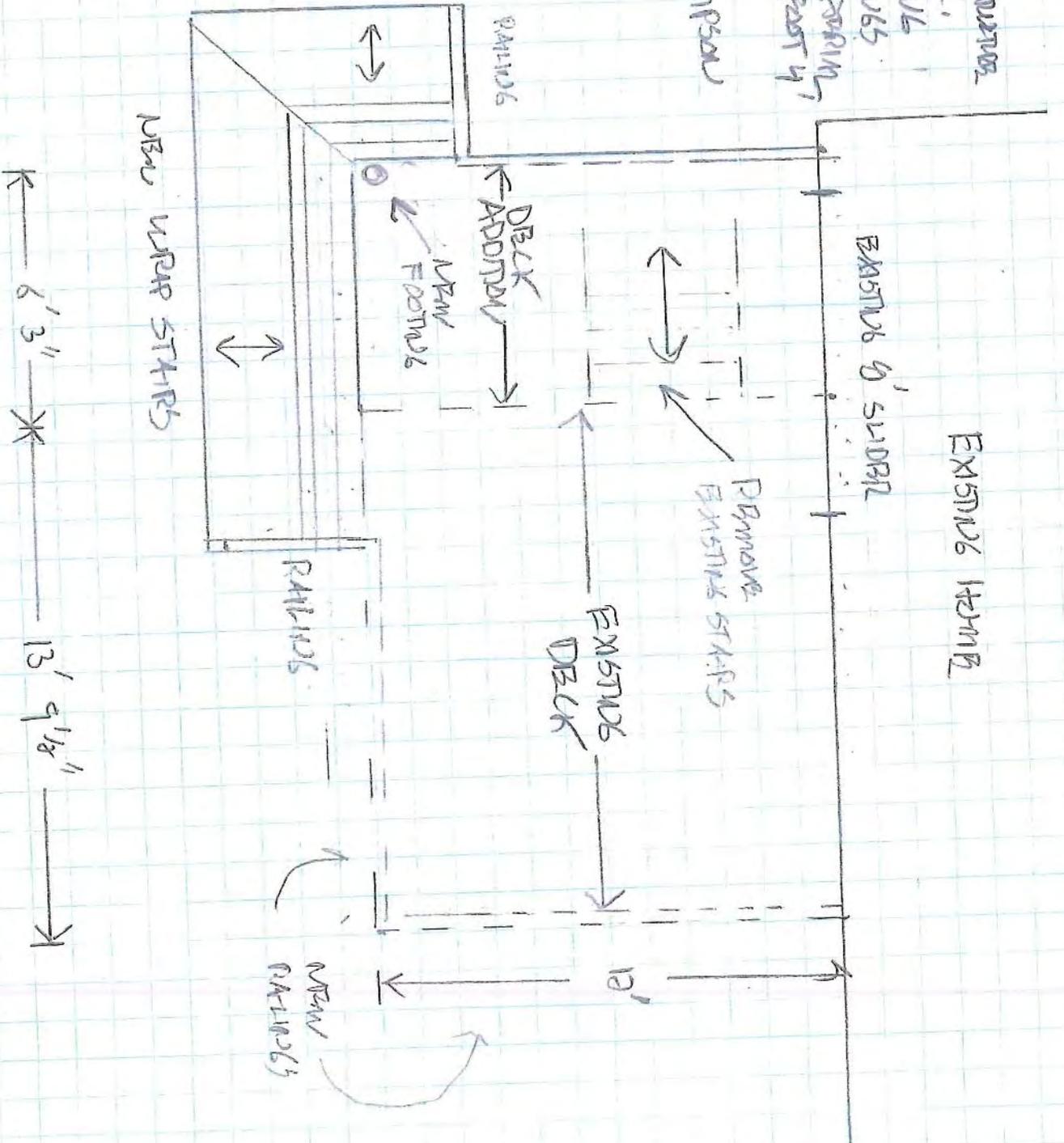
LADUE LAND SURVEYING
MICHAEL S. LADUE, P.L.S.
51 CAPTAINS VILLAGE LANE
BREWSTER, MA 02631
508-896-6707

- 604 CEDAR ST
 @ 7X12 DECK ADDITION
 MATCH EXISTING DECK STRUCTURE
- 2X8 TRIMBS 16" O.C.
 - ALL TRIM PT DECKING
 - ALL NEW PT RAILINGS
 - RAILING W/PT MATERIAL
 - FOOTING 8' W/O/B FOOTING
 - DECK
 - ALL NECESSARY SIMPSON HARDWARE

FOOTING
 8" TUBE



REMOVE FOOT 16" 16" x 22"



NEW WRAP STAIRS

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date April 30 2020

Address of Proposed work, Assessor's Map and lot # _____

House # 0310 Street main st.

Village: W. Barnstable

This application is for an exemption of the proposed construction on the grounds that work:

- Will not be visible from any way or public place
- Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission
- Other

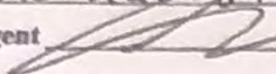
Description of Proposed Work: build a shed 12'6" x 16', 10 feet off back property line. shed will have cedar shingles on sides and AR Asphalt shingles on roof. (Black)
Shed will not be visible from 6A. main st.

Agent or contractor (please print): Anthony Franze Tel. no. 617-803-6872

Address 2310 main st w. Barnstable 02668

Owner (please print): Anthony Franze Tel. no. _____

Owners mailing address: 2310 main st w. Barnstable 02668

Signed, Owner/Contractor/Agent 

Checklist

- Four complete sets of the application and supporting documentation
- \$ _____ Filing Fee (see attached schedule)

For Committee Use Only

This Certificate is hereby APPROVED/DENIED Date: _____
Committee Members Signatures:

Conditions of approval: _____

2310 Main St
w. Barnstable 02668

SHEED



Home



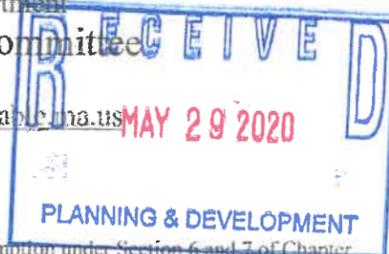
Main St







Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us



CERTIFICATE OF EXEMPTION

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Exemption under Section 6 and 7 of Chapter 470, Acts and Resolves of Massachusetts, 1973, as amended, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date 5-20-2020 Address of Proposed work, Assessor's Map and lot # 315/036

House # 235 Street BOULDER RD Village: BARNSTABLE

This application is for an exemption of the proposed construction on the grounds that work:

Will not be visible from any way or public place

Is within a category declared exempt by the Old Kings Highway Regional Historic District Commission

Other

Description of Proposed Work: _____

Remove existing boxed out window unit w/ two double hung windows and remove 6' slider on opposing corner. Replace removed units with two Harvey windows each side of corner framed into corner post to form corner window unit. Owner currently has permit to replace existing window with same in existing opening. Enclosed is 11X17 A1.0

Agent or contractor (please print): PHILLIP BIRCHALL Tel. no. 508 888 2741

Address 37 TURTLE COVE RD E SANDWICH MA 02537

Owner (please print): SYLVESTER + DONNA MALONEY Tel. no. _____

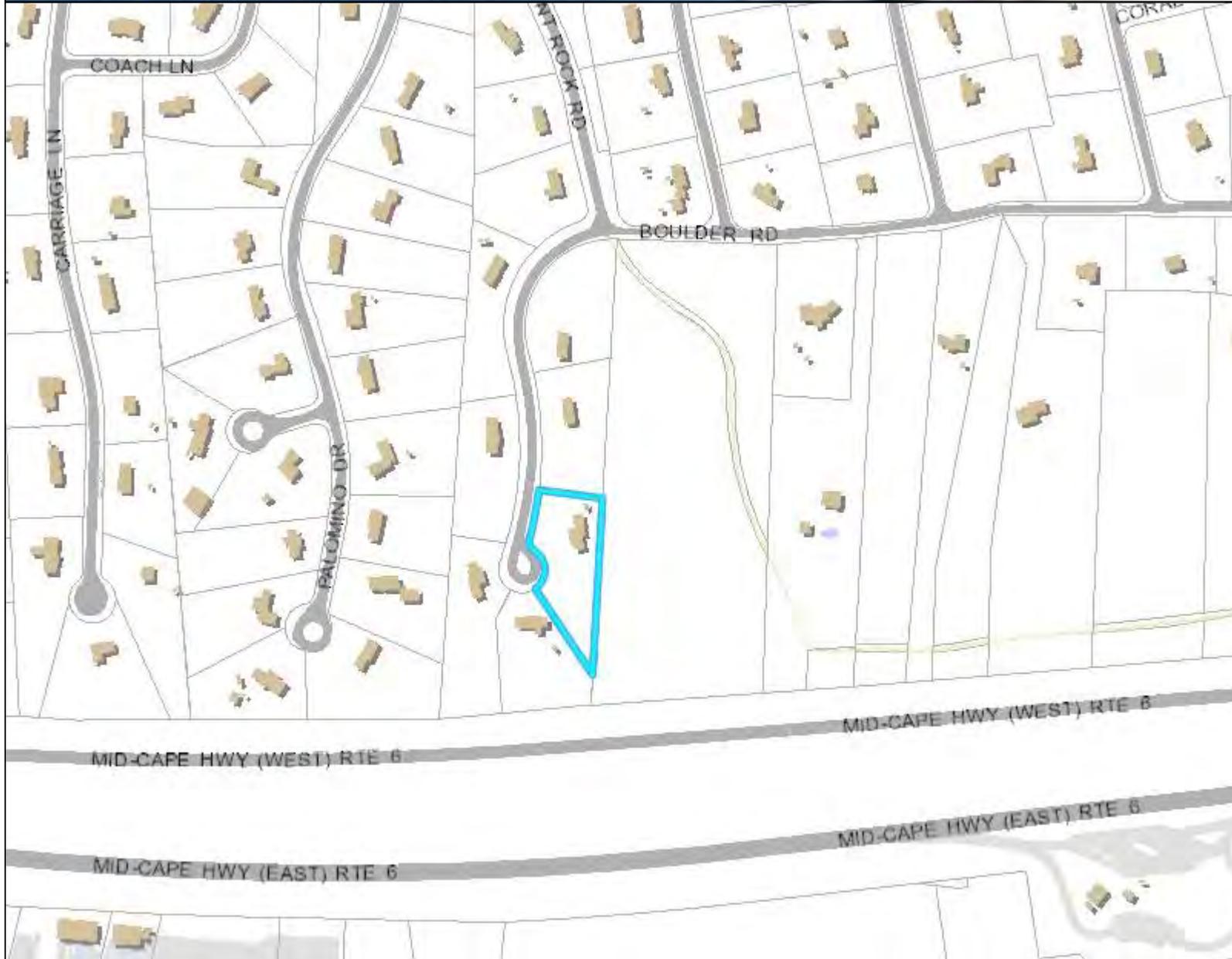
Owners mailing address: 191 CAPN SAMADRUS RD COTUIT MA 02635

Signed, Owner/Contractor/Agent Phillip C Birchall 05/21/20 508 888 2741

Checklist

- Four complete sets of the application and supporting documentation
- \$ _____ Filing Fee (see attached schedule)

| | |
|-------------------------------|---|
| For Committee Use Only | This Certificate is hereby <u>APPROVED/DENIED</u> Date: _____ |
| | Committee Members Signatures: _____ _____ _____ |
| | Conditions of approval: _____ |



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/11/2020



Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



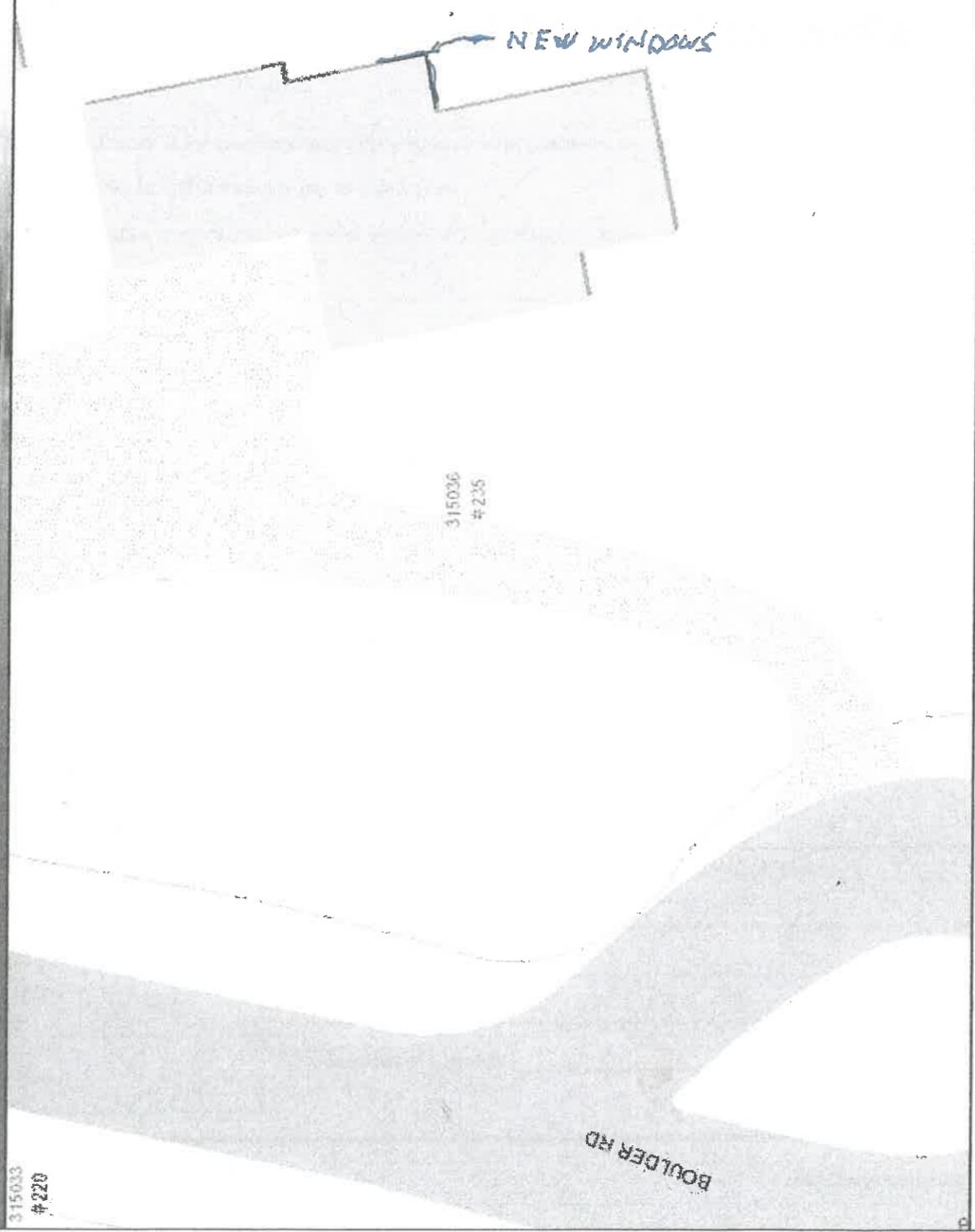
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

315033 #220



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies



Town of Barnstable GIS Unit

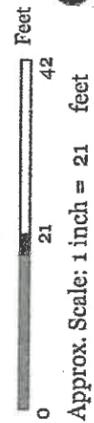
367 Main Street, Hyannis, MA 02601
508-862-4624

gis@town.barnstable.ma.us

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Map printed on: 5/20/2020



Approx. Scale: 1 inch = 21 feet

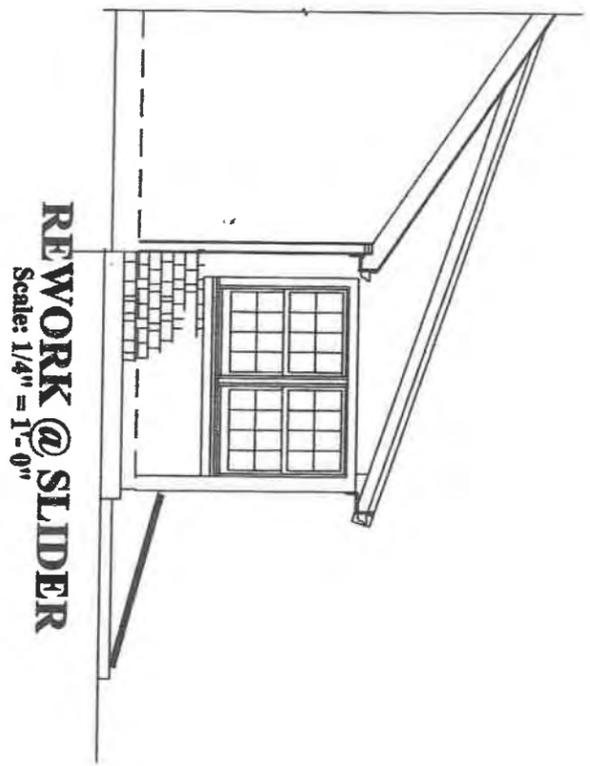


DINING CORNER TO REWORK
Scale: 1/4" = 1'-0"

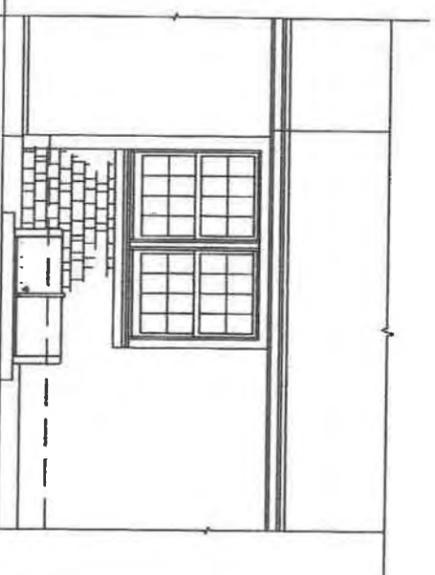
N.T.S. SET FOR OKH IF REQUIRED
PLANS in SET
A1.0 OKH DISTRICT CHANGES
A1.1 PLAN & INTERIOR ELEVATIONS
S1.0 LIVING RM SECTION

SCALE NOTE:
PLAN SCALES WHEN PRINTED 11x17

- NOTES:
- 1) REMOVE BAY WINDOW AND SLIDER
 - 2) REMOVE HEADERS & FRAME UP TO EXISTING WALL PLATES.
 - 3) NEW (2) 2x4 HEADER @ PLATES WINDOWS TO HAVE A SUPPORT MILLION
 - 4) BASED ON FRAMING MAKE EXISTING CORNER STUD NEW JACK PAD SHORT SIDE FRAMING TO MAKE EQUAL DIMENSION.
 - 5) INFILL FRAMING AS REQUIRED. INSULATE WHERE POSSIBLE AND FINISH INTERIOR AND EXTERIOR TO MATCH EXISTING
 - 6) WINDOW BASED ON HARVEY 3042 R.O. 4.3'-2" x 4'-5" VERIFY FOR WINDOWS USED. DOUBLE GLAZED, LOW E U<-0.32

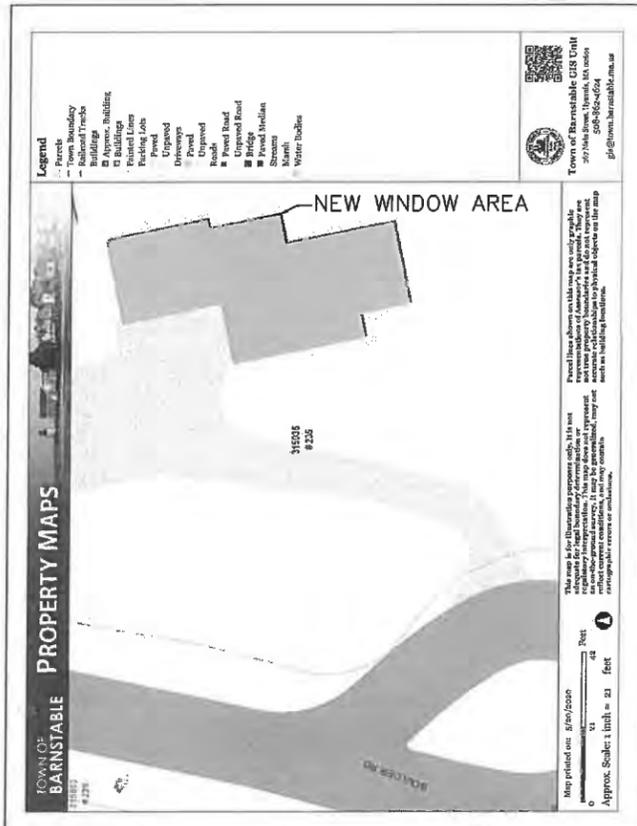


REWORK @ SLIDER
Scale: 1/4" = 1'-0"



REWORK @ BOX WINDOW
Scale: 1/4" = 1'-0"

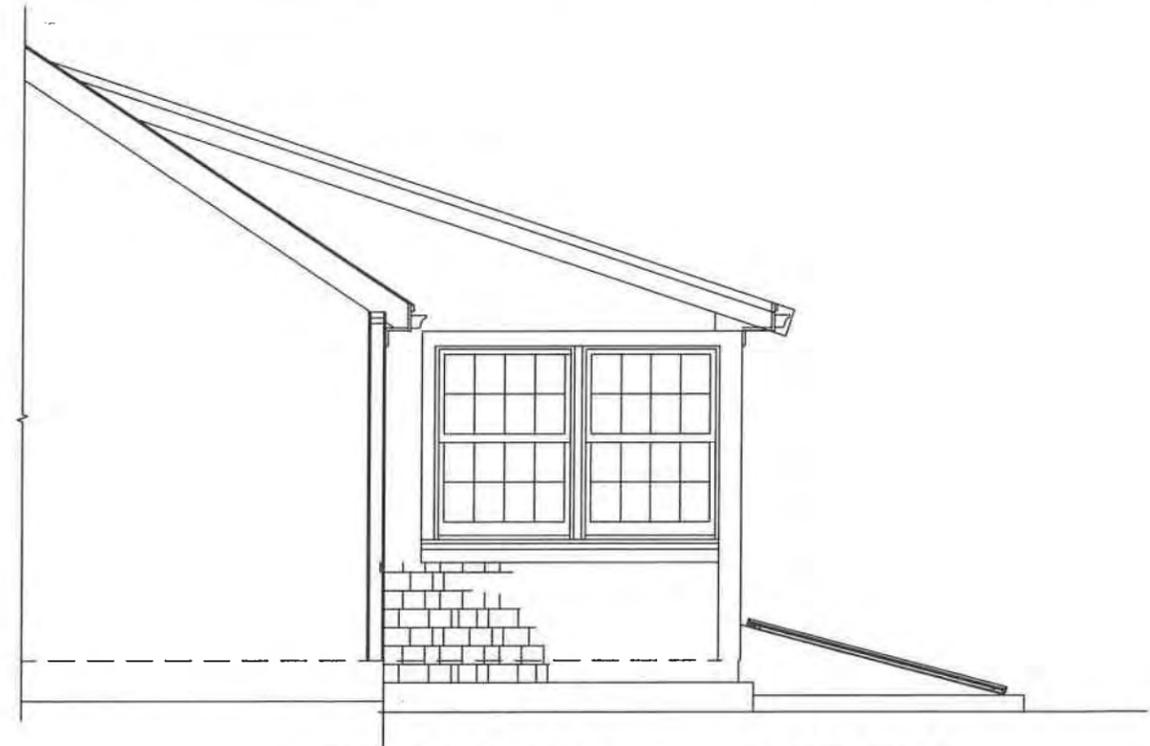
| | | | | |
|-------------|------------|----------------|--|---|
| OKH CHANGES | 05/19/2020 | PERMIT | OWNER & LOCATION OWNER SYLVESTER & DONNA MALONEY 245 BOULDER ROAD BARNSTABLE, MA | CONTRACTOR: KEVIN FAIR 100 HOMERS DOCK RD YARMOUTHPORT, MA 1-603-759-0720 |
| | 05/21/2020 | PERMIT W/ SITE | | |
| A1.0R | | | | |



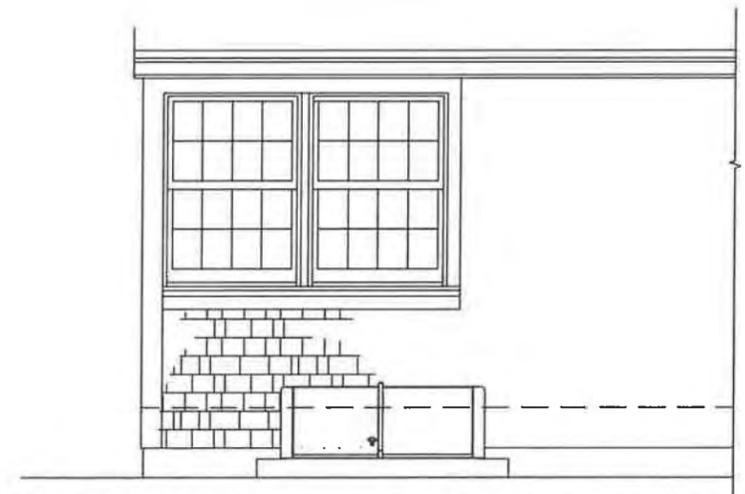
DINING CORNER TO REWORK
 Scale: 1/4" = 1'- 0"

PLANS in SET
A1.0 OKH DISTRICT CHANGES
A1.1 PLAN & INTERIOR ELEVATIONS
S1.0 LIVING RM SECTION

- NOTES:
- 1) REMOVE BAY WINDOW AND SLIDER
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 - 5) INFILL FRAMING AS REQUIRED. INSULATE WHERE POSSIBLE AND FINISH INTERIOR AND EXTERIOR TO MATCH EXISTING
 - 6) WINDOW BASED ON HARVEY 3042 R.O. ±3'-2" x 4'-5" VERIFY FOR WIDOWS USED. DOUBLE GLAZED, LOW E U<=0.32

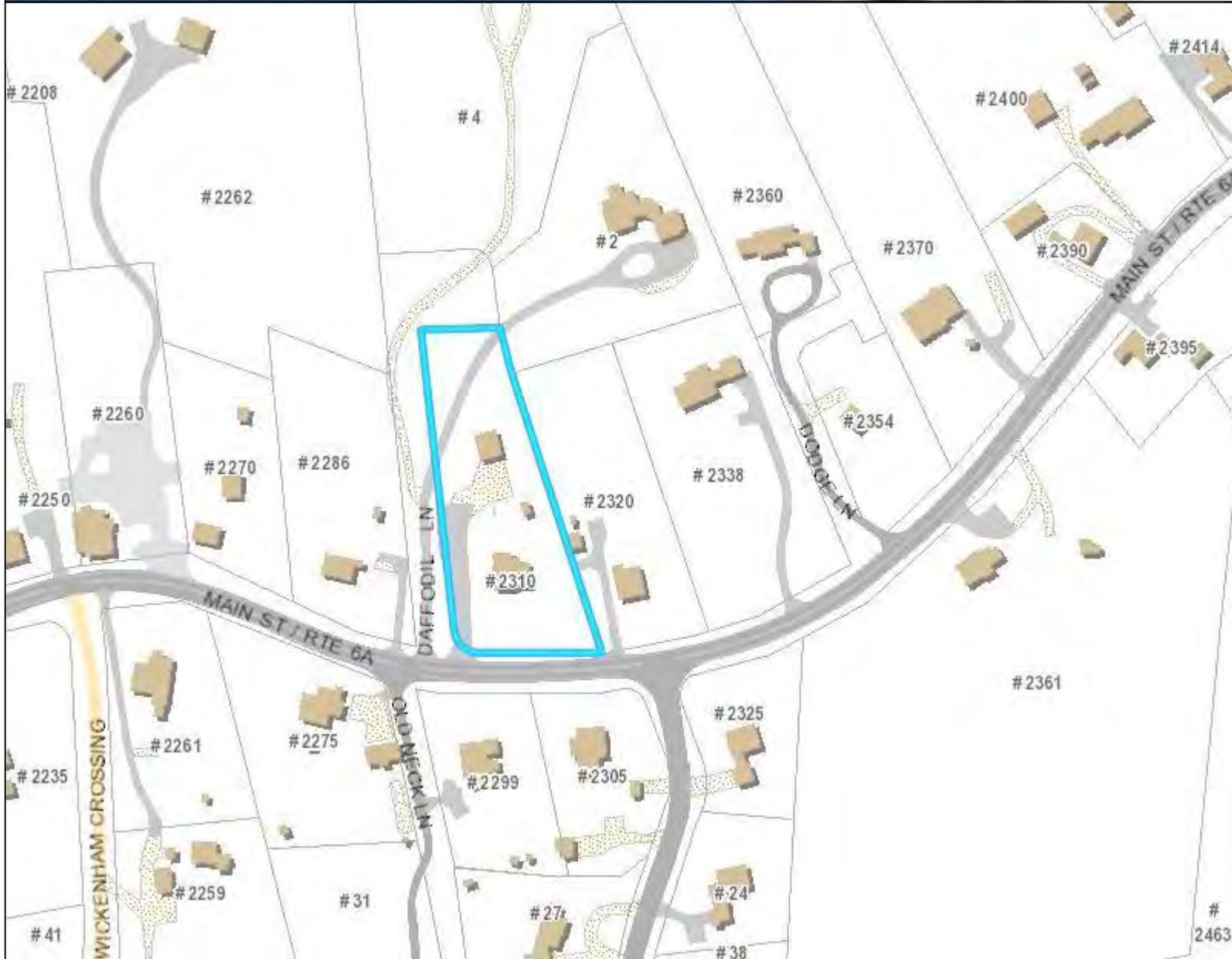


REWORK @ SLIDER
 Scale: 1/4" = 1'- 0"



REWORK @ BOX WINDOW
 Scale: 1/4" = 1'- 0"

| | | | | |
|-------------|------------|----------------|--|---|
| OKH CHANGES | 05/19/2020 | PERMIT | OWNER & LOCATION OWNER SYLVESTER & DONNA MALONEY 245 BOULDER ROAD BARNSTABLE, MA | CONTRACTOR: KEVIN FAIR 100 HOMERS DOCK RD YARMOUTHPORT, MA 1-603-759-0720 |
| | 05/21/2020 | PERMIT w/ SITE | | |
| A1.0R | | | | |



Legend

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
- Approx. Building
- Buildings
- Painted Lines
- Parking Lots
- Paved
- Unpaved
- Driveways
- Paved
- Unpaved
- Roads
- Paved Road
- Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 6/11/2020



Approx. Scale: 1 inch = 167 feet



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Town of Barnstable GIS Unit

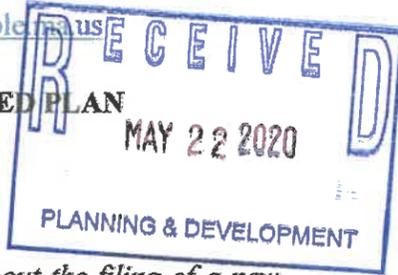
367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.us



MINOR MODIFICATION TO PRIOR APPROVED PLAN

972 CMR Rules and Regulations, Section 1.03(2),
 1.03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project such as altering a single window or door change or a minor change of colors. All minor changes by amendment will require the local Committee's or its designee's approval.

Submit 2 copies of the application and supporting materials and documentation

4/17/20 Date Wendy Buttrick Shuck Applicant (s) print name

300/036 Address of proposed work Assessors Map and Parcel no.

164 House No. Millway Street Barnstable Village

Date of approved Certificate of Appropriateness 4/17/19 [Signature]

Proposed Minor Modification

Substitute 8'H x 12'W sliding door for 2
8'H x 9'W over head garage doors.
Sliding door will be 2-8' x 6' panels

Signature of applicant [Signature]

Applicant Phone 617-680-3999 Email ggshuck@gmail.com

APPROVED / DENIED signed _____, CHAIRMAN

Date _____

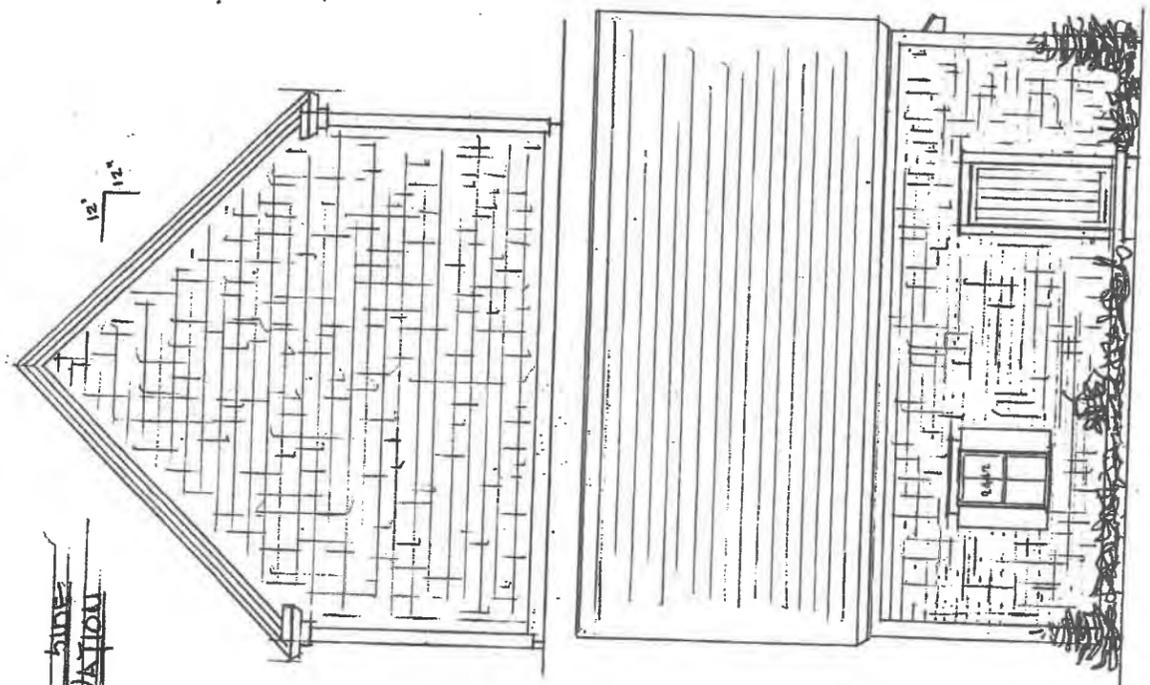
CC: BUILDING COMMISSIONER



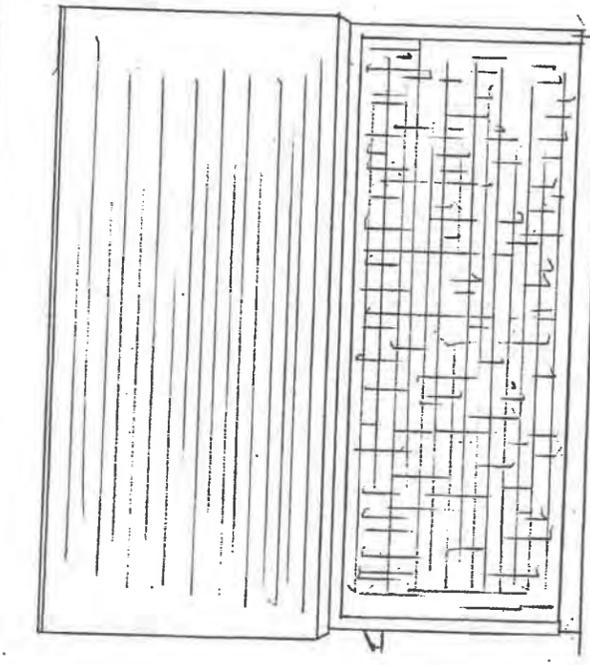
Various structures on Millway.



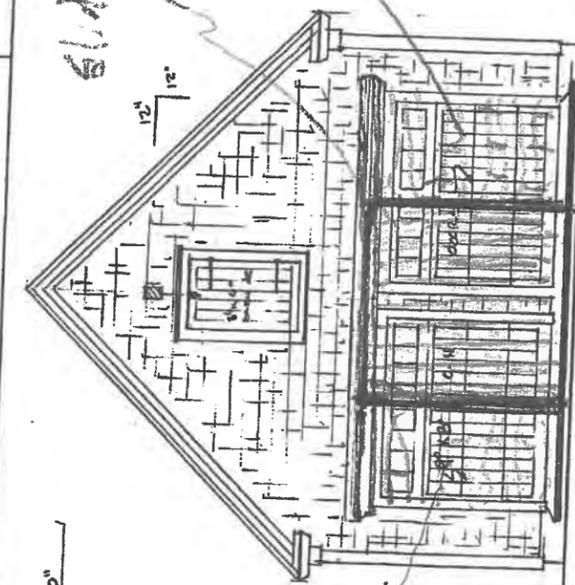
This is the style of door we will build out of antique lumber recovered from 164 Millway. To be painted dark forest green to match door on front of house.



MILLWAY ELEVATION



DRIVEWAY ELEVATION



PROPOSED GARAGE HOUSE

FOR GERALD SHUCK
166 Millway
MILWAUKEE, Wis.

DONALD I. MEYER
Professional Building Designer
R.O. Box 105
So. Yarmouth, MA 02564
(508) 294-5295

DATE: 01/27/72

219 04 B

MILLWAY

DRIVEWAY
ELEVATION



Town of Barnstable, Planning & Development Department
 Old King's Highway Historic District Committee
 200 Main Street, Hyannis, Massachusetts 02601
 Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

MINOR MODIFICATION TO PRIOR APPROVED PLAN

972 CMR Rules and Regulations, Section 1.03(2),
 1.03: General Procedures

(2.) (a.) Only minor changes may be approved by the Committee without the filing of a new application and a new hearing. Minor changes include alterations that can be done without a detrimental impact on the overall appearance of the project **such as altering a single window or door change or a minor change of colors.** All minor changes by amendment will require the local Committee's or its designee's approval.

Submit 2 copies of the application and supporting materials and documentation

5/26/20 Date Kevin Werner Applicant (s), print name

Address of proposed work Map 335 Parcel 018/000 Assessors Map and Parcel no.

3826 House No. Main Street Street Barnstable Village

Date of approved Certificate of Appropriateness 5/20/20

Proposed Minor Modification

Replace existing 9 lite door from the deck on East Elevation with a 5 ft. French door unit.
Doors are 15 lite SDL white in color.

Replace single fixed casement window on rear facing gable with a three window grouping.
The windows are fixed casement without grills white in color similar to the existing window.
(see attached drawing)

Signature of applicant 

Applicant Phone 508-648-8801 Email kevintaltwerner@gmail.com

APPROVED / DENIED signed _____, CHAIRMAN

_____ Date

CC: BUILDING COMMISSIONER

NOTES:



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



4 NEW RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

3826 MAIN ST.
CUMMAQUID MA

RENOVATION

SET ISSUE DATES
DATE ISSUE

REVISIONS
DATE DESCRIPTION
5/26/20 FRENCH DOOR REAR WINDOWS

ELEVATIONS

SHEET #1 OF 7

A1

DATE: 4/21/20

NOTES:

3826 MAIN ST.
CUMMAQUID MA

RENOVATION

SET ISSUE DATES

| DATE | ISSUE |
|------|-------|
| | |

REVISIONS

| DATE | DESCRIPTION |
|---------|-----------------------------|
| 5/26/20 | FRENCH DOOR REAR WINDOWS |

ELEVATIONS

SHEET #2 OF 7

A2

DATE: 4/21/20



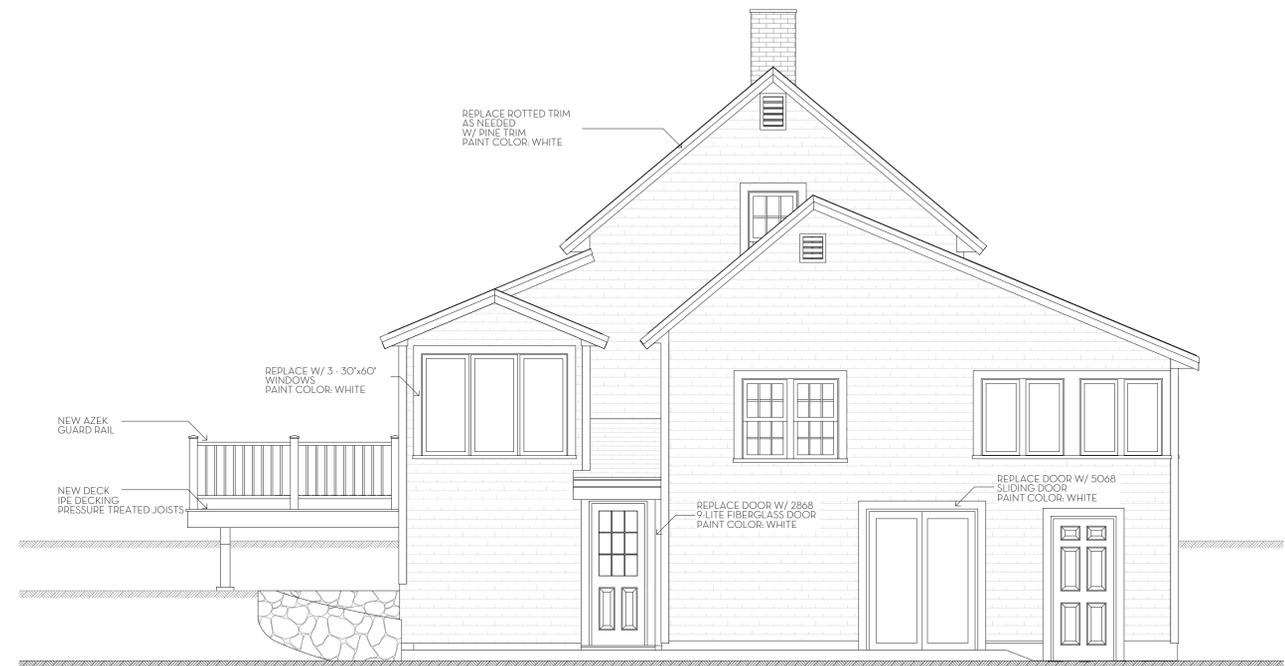
1 EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW LEFT ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 NEW REAR ELEVATION
SCALE: 1/4" = 1'-0"

June 10, 2020

Barnstable Planning Board
c/o Ms. Elizabeth Jenkins, Director
367 Main Street
Hyannis MA. 02601
508-862-4064
elizabeth.jenkins@town.barnstable.ma.us

Subject: Invitation to Comment
204799 / CAPE HIGHWAY MA
2049 Meetinghouse Way, West Barnstable, Barnstable County, Massachusetts 02668
EBI Project #6120004909

Dear Ms. Jenkins:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of American Tower Corporation, provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for additional details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

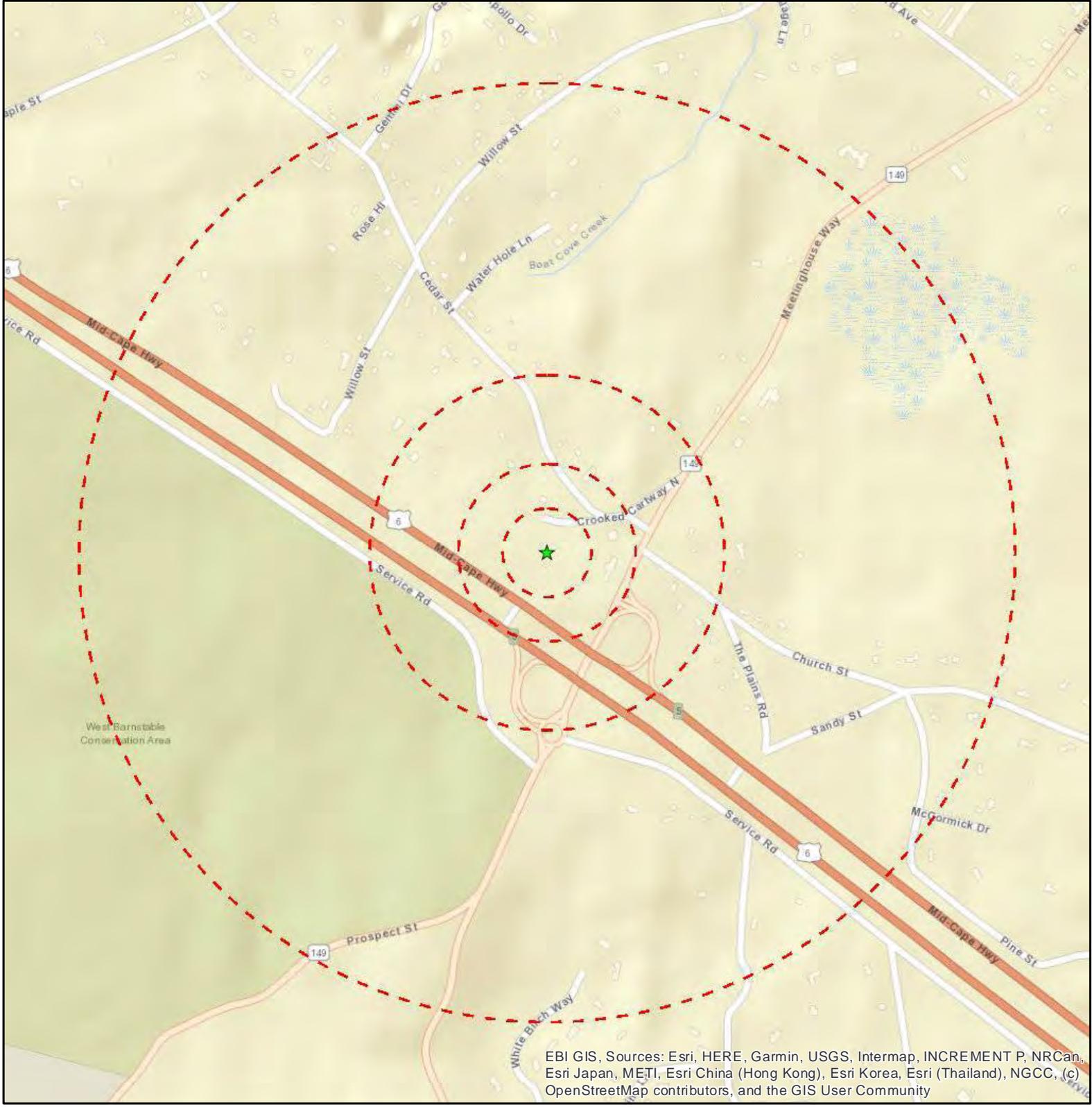
Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 21 B Street, Burlington, MA 01803, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully Submitted,



Ms. Alexis Green
Assistant Technical Director – Cultural Resources
agreen@ebiconsulting.com
T (585) 815-3290
F (781) 425-5167

Attachments - Drawings and Maps



EBI GIS, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

Date: 6/2/2020

Figure 1: Site Location Map

**204799 CAPE HIGHWAY MA
2049 MEETINGHOUSE WAY
WEST BARNSTABLE, MA 02668**





EBI GIS, Copyright: © 2013 National Geographic Society, i-cubed

Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

USGS 24K Quad: Sandwich (digital), MA 1986, Hyannis (digital), MA 1986

Date: 6/2/2020

Figure 2 - Topographic Map

**204799 CAPE HIGHWAY MA
 2049 MEETINGHOUSE WAY
 WEST BARNSTABLE, MA 02668**

PN: 6120004909

EBI Consulting
 environmental | engineering | design



VICINITY MAP



AMERICAN TOWER®

SITE NAME: CAPE HIGHWAY MA
SITE NUMBER: 204799
SITE ADDRESS: 2049 MEETINGHOUSE WAY
BARNSTABLE, MA 2668



LOCATION MAP

AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
| | | | |
| | | | |
| | | | |
| | | | |

ATC SITE NUMBER:
204799
 ATC SITE NAME:
CAPE HIGHWAY MA
 SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

TITLE SHEET

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| G-001 | 0 |

RAWLAND ZONING DRAWINGS

| COMPLIANCE CODE | PROJECT SUMMARY | PROJECT DESCRIPTION | SHEET INDEX | | | | |
|--|---|---|---|--------------------------------------|-------------|----------|----------|
| ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES 5. FEDERAL COMMUNICATIONS COMMISSION (FCC) 6. FEDERAL AVIATION ADMINISTRATION (FAA) | <u>SITE ADDRESS:</u> 2049 MEETINGHOUSE WAY BARNSTABLE, MA 2668 COUNTY: BARNSTABLE <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: N41° 41' 53.55" LONGITUDE: W70° 23' 7.06" GROUND ELEVATION: 88.8' AMSL <u>ZONING INFORMATION:</u> JURISDICTION: TOWN OF BARNSTABLE PARCEL NUMBER: 130-017-001 ZONING DISTRICT: RF | THIS PROJECT ENTAILS CONSTRUCTION A NEW 110' MONOPOLE WITHIN A 50' X 50' COMPOUND WITH ASSOCIATED FACILITIES. PROJECT NOTES 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. FACILITY WILL MEET OR EXCEEDS ALL FAA AND FCC REGULATORY REQUIREMENTS. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE FACILITY WILL NOT GENERATE NOISE IN EXCESS OF 50db AT THE PROPERTY LINES. | SHEET NO: | DESCRIPTION: | REV: | DATE: | BY: |
| | SURVEY INFORMATION 1. TOPOGRAPHY AND BOUNDARY INFORMATION WAS OBTAINED FROM SURVEY PLAN DATED 04/04/18 BY TECTONIC ENGINEERING. | PROJECT TEAM <u>TOWER OWNER/APPLICANT:</u> AMERICAN TOWER CORPORATION 10 PRESIDENTIAL WAY WOBURN, MA 01801 <u>PROPERTY OWNER:</u> WEST PARISH OF BARNSTABLE 2049 CHURCH ST <u>ENGINEER:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518 <u>TENANT:</u> T-MOBILE | PROJECT LOCATION DIRECTIONS FROM BOSTON, MA: GET ON I-93 S FROM SUDBURY ST. FOLLOW I-93 S AND MA-3 TO US-6 W IN BARNSTABLE. SITE IS OFF MEETINGHOUSE WAY | G-001 | TITLE SHEET | 0 | 04/10/20 |
| UTILITY COMPANIES POWER COMPANY: TBD TELEPHONE COMPANY: TBD | | | V-101 | EXISTING CONDITIONS | | | |
| | | | V-102 | EXISTING CONDITIONS | | | |
| | | | C-101 | OVERALL SITE PLAN | 0 | 04/10/20 | NRP |
| | | | C-201 | GRADING PLAN | 0 | 04/10/20 | NRP |
| | | | C-202 | EROSION & SEDIMENTATION CONTROL PLAN | 0 | 04/10/20 | NRP |
| | | | C-203 | PLANTING PLAN | 0 | 04/10/20 | NRP |
| | | | C-401 | COMPOUND PLAN | 0 | 04/10/20 | NRP |
| | | | C-402 | TOWER ELEVATION | 0 | 04/10/20 | NRP |
| | | | C-501 | SIGNAGE | 0 | 04/10/20 | NRP |



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PROJECT SUMMARY

SURVEYOR'S NOTES

FIELD SURVEY DATE: 03/28/2016 & 01/22/2020
SITE ADDRESS: 2049 MEETINGHOUSE WAY, WEST BARNSTABLE, MA 02669

PARCEL INFORMATION
 OWNER: 1717 MEETINGHOUSE FOUNDATION, INC. A MASSACHUSETTS NONPROFIT CORPORATION, FKA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC.
 OWNER ADDRESS: 2049 CHURCH STREET
 APN: 150317

TOTAL AREAS:
 PARENT PARCEL: 4.71± ACRES
 ATC LEASE AREA: 3,600 SQ. FT. OR 0.063± ACRES
 FARMSET AREA: 7,376 SQ. FT. OR 0.169± ACRES

- THERE IS ACCESS TO THE SUBJECT PROPERTY VIA CEDAR STREET, A PUBLIC RIGHT OF WAY.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.
- AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- ANGLES OR BEARINGS SHOWN HEREON ARE FORMATTED IN DEGREES, MINUTES, AND SECONDS. DISTANCES OR ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET, UNLESS NOTED OTHERWISE.
- UNDERGROUND IMPROVEMENTS IF ANY AND NOT VISIBLE AT THE TIME OF THE SURVEY, HAVE NOT BEEN LOCATED IN THE FIELD OR SHOWN HEREON.
- NOT ALL IMPROVEMENTS ON THE PARENT PARCEL BEING SURVEYED ARE SHOWN HEREON.
- REFERENCES:
 - DEED: BOOK 771, PAGE 141
 - MAP ENTITLED: "PLAN OF LAND IN WEST BARNSTABLE, MASS." AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 12/11/60 AS MAP 86-78.
 - MAP ENTITLED: "PLAN OF LAND LOCATED AT: #2049 MEETINGHOUSE WAY BARNSTABLE, MA." AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 12/14/08 AS BOOK 561, PAGE 74.
 - MAP ENTITLED: "TOWN OF BARNSTABLE PLAN SHOWING A PORTION OF CROOKED CARTWAY (AN UNDEFINED ANCIENT WAY) IN WEST BARNSTABLE AS DISCONTINUED BY THE SELECTMAN" AS FILED IN THE BARNSTABLE COUNTY CLERK'S OFFICE ON 04/15/60 AS BOOK 147, PAGE 117.
 - TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY AS TITLE NUMBER ATC-741409-C, EFFECTIVE DATE 01/18/15.

GEOGRAPHIC COORDINATES OF PROPOSED TOWER:
 LATITUDE: 41°41'53.55" N LONGITUDE: 70°23'07.06" W
 VERTICAL DATUM: NAVD 1988 HORIZONTAL DATUM: NAD83
 GROUND ELEVATION: 65'

THIS IS TO CERTIFY THAT THE ABOVE INFORMATION IS PROVIDED TO THE FOLLOWING ACCURACY:
 ± TWENTY (20) FEET IN THE HORIZONTAL
 ± THREE (3) FEET IN THE VERTICAL

*MERIDIAN AND COORDINATES REFER TO MASSACHUSETTS STATE PLANE SYSTEM, NAD 83, MAINLAND ZONE AND ARE BASED ON GPS OBSERVATIONS.

FLOODPLAIN:
 PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X.
 COMMUNITY PANEL NO.: 25001C0634J
 EFFECTIVE DATE: JULY 16, 2014

BOUNDARY NOTE
 THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY BASED UPON SUFFICIENT RESEARCH AND FIELD EVIDENCE TO VERIFY THE PARENT PARCEL OF THE SUBJECT PROPERTY. HOWEVER, THIS SURVEYOR HAS RELIED UPON THE DEEDS OF RECORD, AS PROVIDED. THIS SURVEYOR MAKES NO GUARANTEE, EITHER EXPRESSED OR IMPLIED AS TO THE QUALITY OF THE DEED REPORT AND REFERENCE DOCUMENTS PROVIDED AND THE DOCUMENTS PROVED AFFECTING THE LEASE AND IMMEDIATE AREA HAVE BEEN PLOTTED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM THE RECORD INFORMATION PROVIDED AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

PROPOSED ATC LEASE AREA IS CONTAINED ENTIRELY ON THE PARENT PARCEL.

LEGAL DESCRIPTION

PARENT PARCEL - AS PROVIDED:
 BEGINNING AT A CEMENT BOUND AT THE SOUTHEAST CORNER OF THE GRANTED PREMISES AT THE WEST BARNSTABLE - MARSTONS MILLS ROAD AND THE STATE HIGHWAY;
 THENCE RUNNING NORTHWESTERLY BY THE STATE HIGHWAY SIX HUNDRED EIGHTY-THREE (883) FEET, MORE OR LESS, TO A ROAD KNOWN AS "CROOKED CARTWAY";
 THENCE RUNNING IN A GENERAL NORTH-EASTERLY AND EASTERLY DIRECTION BY SAID "CROOKED CARTWAY" FOUR HUNDRED THIRTY-FOUR (434) FEET MORE OR LESS TO LAND OF WEST BARNSTABLE CONGREGATIONAL SOCIETY;
 THEN RUNNING SOUTH 82° 43' 20" EAST BY LAND OF SAID SOCIETY THREE HUNDRED THIRTY-FOUR (304) FEET MORE OR LESS TO A POST;
 THENCE RUNNING SOUTH 77° 10' 40" EAST STILL BY LAND OF SAID SOCIETY NINETY-ONE AND 78/100 (91.75) FEET TO A CEMENT BOUND AT THE WEST BARNSTABLE - MARSTONS MILLS ROAD;
 THENCE RUNNING SOUTHWESTERLY BY SAID WEST BARNSTABLE - MARSTONS MILLS ROAD FOUR HUNDRED FOURTEEN AND 69/100 (414.69) FEET TO THE CEMENT BOUND AT THE STATE HIGHWAY, IT BEING THE POINT OF BEGINNING.

CONTAINING 4.71 ACRES OF LAND, MORE OR LESS, AND BEING SHOWN AS PARCEL B ON A PLAN ENTITLED "PLAN OF LAND IN WEST BARNSTABLE, MASS. AS SURVEYED FOR WEST PARISH MEMORIAL FOUNDATION, INC., SCALE: 1 INCH = 40 FEET, NOVEMBER 10, 1930, BEARSE & KELLOGG, CIVIL ENGINEERS, GENTENVILLE" TO BE RECORDED HEREWITH.

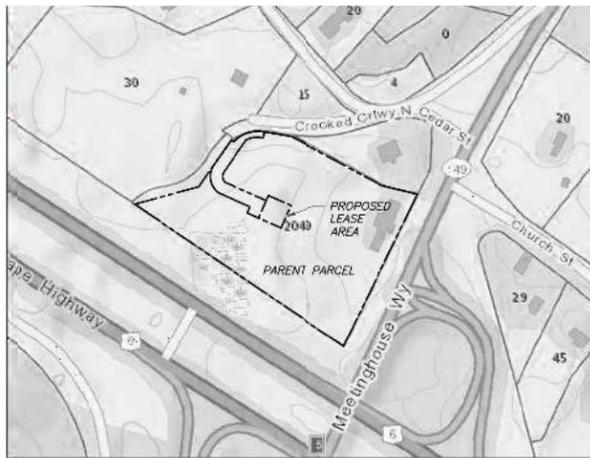
BEING THE SAME PROPERTY CONVEYED TO AMERICAN TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY, FROM 1717 MEETINGHOUSE FOUNDATION, INC., A MASSACHUSETTS NONPROFIT CORPORATION, FKA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC. BY MEMORANDUM OF LEASE AGREEMENT, DATED MARCH 23, 2016 AND RECORDED APRIL 30, 2016 IN BOOK 31231, PAGE 190.

ATC LEASE AREA - PROPOSED:
 ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF WEST BARNSTABLE, COUNTY OF BARNSTABLE, STATE OF MASSACHUSETTS, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED ATC LEASE AREA, SAID POINT WHOSE STATE PLANE COORDINATE OF 2717025.41 NORTH AND 960545.59 EAST; RUNNING THENCE
 NORTH 22°43'10" EAST FOR A DISTANCE OF 80.00 FEET TO A POINT; THENCE
 SOUTH 67°16'50" EAST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE
 SOUTH 22°43'10" WEST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE
 NORTH 67°16'50" WEST FOR A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.

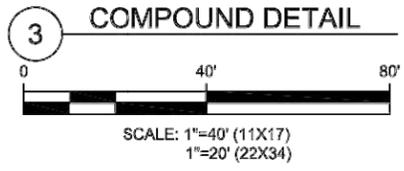
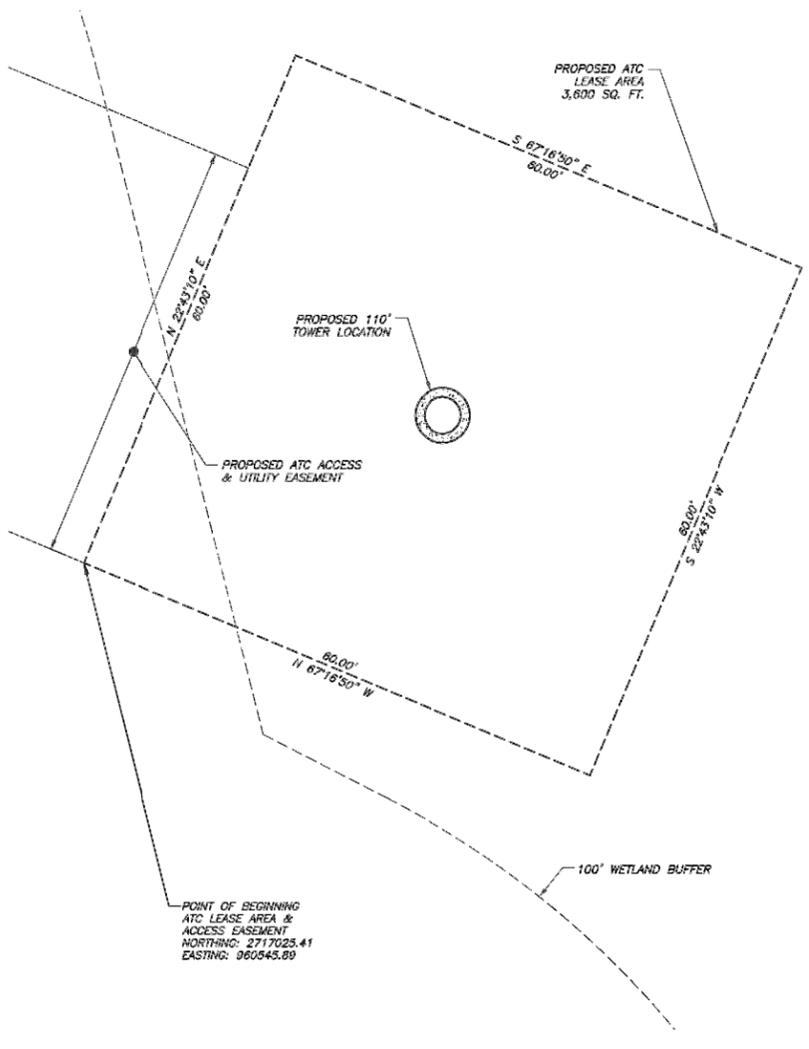
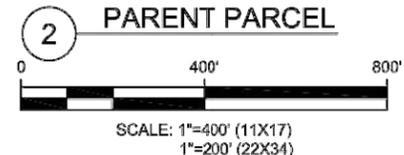
CONTAINING 3,600 SQUARE FEET

32' WIDE ACCESS & UTILITY EASEMENT - PROPOSED:
 ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE CITY OF WEST BARNSTABLE, COUNTY OF BARNSTABLE, STATE OF MASSACHUSETTS, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE MOST SOUTHERLY CORNER OF THE HEREIN DESCRIBED ACCESS & UTILITY EASEMENT AND ALSO BEING THE SOUTH-WESTERLY CORNER OF THE HEREIN DESCRIBED ATC LEASE AREA, SAID POINT HAVING A STATE PLANE COORDINATE OF 2717025.41 NORTH AND 960545.59 EAST; RUNNING THENCE
 NORTH 67°16'50" WEST FOR A DISTANCE OF 30.00 FEET TO A POINT; THENCE
 NORTH 22°43'10" EAST FOR A DISTANCE OF 16.98 FEET TO A POINT; THENCE
 NORTH 67°16'50" WEST FOR A DISTANCE OF 35.10 FEET TO A POINT OF NON-TANGENCY; THENCE
 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 60.00 FEET WITH AN ARC LENGTH OF 76.77 FEET AND WHOSE LONG CHORD BEARS N 10°11'05" W FOR A DISTANCE OF 69.45 FEET TO A POINT OF TANGENCY; THENCE
 NORTH 33°48'09" EAST FOR A DISTANCE OF 74.41 FEET TO A POINT; THENCE
 SOUTH 56°58'13" EAST FOR A DISTANCE OF 8.49 FEET TO A POINT OF NON-TANGENCY; THENCE
 ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 75.00 FEET WITH AN ARC LENGTH OF 77.22 FEET AND WHOSE LONG CHORD BEARS N 69°03'14" E FOR A DISTANCE OF 73.93 FEET TO A POINT OF TANGENCY; THENCE
 SOUTH 81°22'01" EAST FOR A DISTANCE OF 4.60 FEET TO A POINT; THENCE
 SOUTH 08°52'29" WEST FOR A DISTANCE OF 15.00 FEET TO A POINT; THENCE
 NORTH 81°27'01" WEST FOR A DISTANCE OF 4.60 FEET TO A POINT OF TANGENCY; THENCE
 ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET WITH AN ARC LENGTH OF 38.77 FEET AND WHOSE LONG CHORD BEARS S 60°02'20" W FOR A DISTANCE OF 38.10 FEET TO A POINT OF NON-TANGENCY; THENCE
 SOUTH 33°48'09" WEST FOR A DISTANCE OF 24.91 FEET TO A POINT OF TANGENCY; THENCE
 ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 20.00 FEET WITH AN ARC LENGTH OF 28.03 FEET AND WHOSE LONG CHORD BEARS S 08°20'30" E FOR A DISTANCE OF 25.79 FEET TO A POINT OF NON-TANGENCY; THENCE
 SOUTH 67°16'50" EAST FOR A DISTANCE OF 60.86 FEET TO A POINT; THENCE
 SOUTH 22°43'10" WEST FOR A DISTANCE OF 46.65 FEET TO THE POINT OF BEGINNING.

CONTAINING 7,376 SQUARE FEET



- SURVEY LEGEND**
- EXISTING PROPERTY
 - EXISTING ADJ. PROPERTY
 - PROPOSED LEASE
 - PROPOSED EASEMENT
 - OBS --- EXISTING CONTOUR (MAJOR)
 - OBS --- EXISTING CONTOUR (MINOR)
 - EXISTING TREELINE
 - EXISTING CHAINLINK FENCE
 - EXISTING OVERHEAD WIRES
 - EXISTING STONEWALL
 - EXISTING BUILDING
 - EXISTING ROAD (STONE)
 - EXISTING ROAD (PAVED)
 - SURVEY IRON PIN FOUND
 - SURVEY BENCHMARK
 - EXISTING UTILITY POLE
 - EXISTING GUY ANCHOR
 - EXISTING ELECTRIC METER
 - EXISTING SIGN
 - EXISTING ELECTRIC PULLBOX
 - CONCRETE MONUMENT
 - EXISTING STORM DRAIN INLET
 - TITLE ITEM NUMBER



AMERICAN TOWER®
ATC TOWER SERVICES, INC
 3533 REGENCY PARKWAY
 SUITE 133
 CARY, NC 27551
 PHONE: (919) 468-0145
 COA: D-0204

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

| REV. | DESCRIPTION | BY | DATE |
|------|----------------------|----|----------|
| 4 | TITLE UPDATE | FW | 03/26/20 |
| 5 | PER COMMENT | FW | 03/30/20 |
| 6 | REVISED TOWER HEIGHT | FW | 04/02/20 |

ATC SITE NUMBER:
204799

ATC SITE NAME:
CAPE HIGHWAY MA

SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 WEST BARNSTABLE, MA 02668

SURVEY CERTIFICATE:
 I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON 03/28/2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (M.G.L. CHAPTER 41, SECTION 81X)



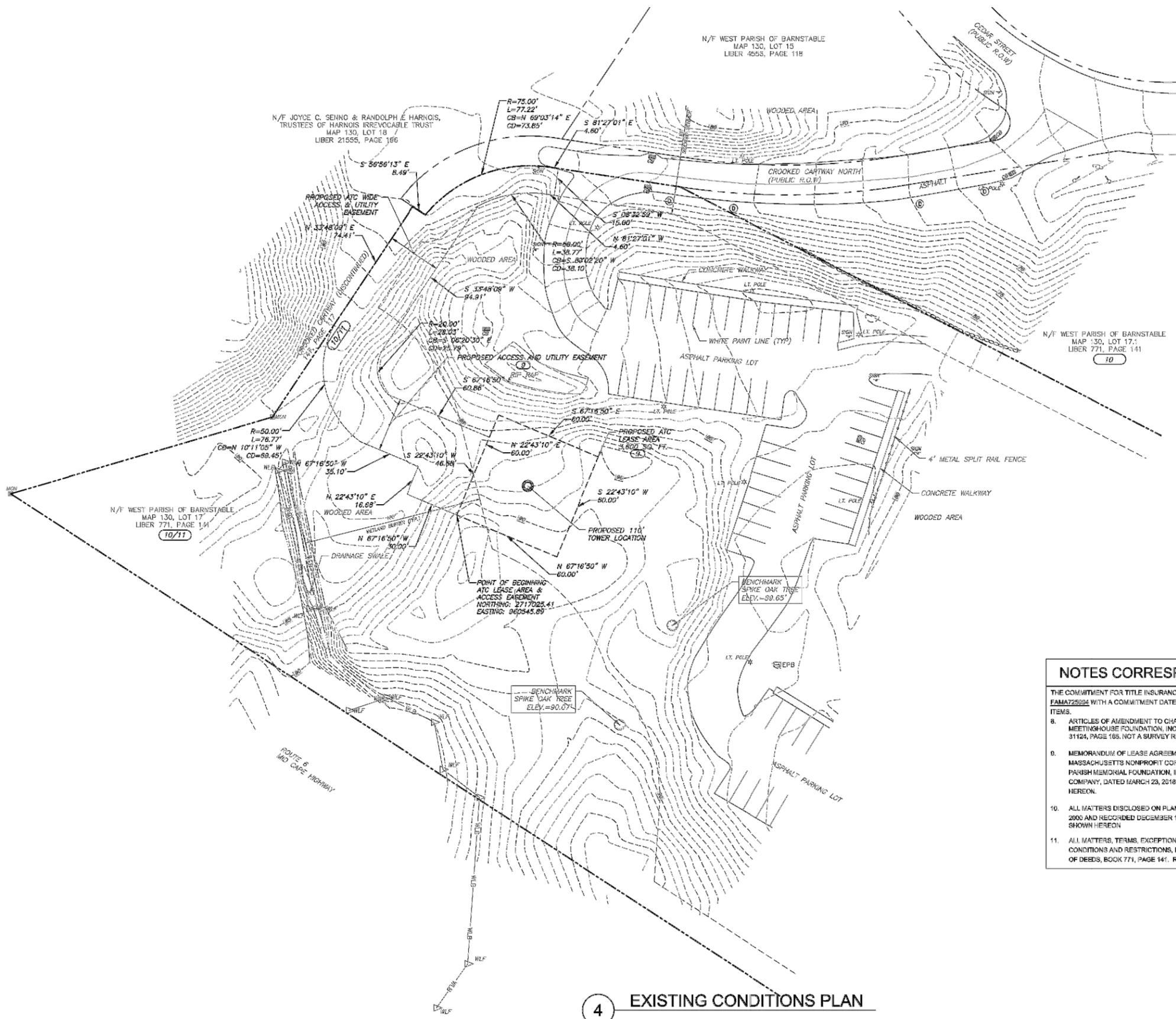
SURVEY LOGO:

Tectonic
 PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
 Tectonic Engineering & Surveying Consultants P.C.
 Phone: (941) 547-8858
 (800) 829-8991
 www.tectonicingeering.com

DRAWN BY: EL
APPROVED BY: FW
DATE DRAWN: 04/04/18
ATC JOB NO: 204799

EXISTING CONDITIONS

SHEET NUMBER: **V-101** REVISION: **6**



N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 15
LIBER 4653, PAGE 118

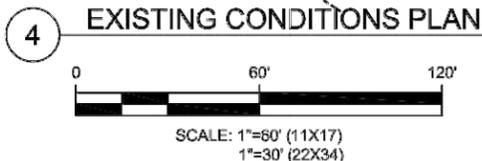
N/F JOYCE C. SEHNO & RANDOLPH E. HARNOIS,
TRUSTEES OF HARNOIS IRREVOCABLE TRUST
MAP 130, LOT 18
LIBER 21555, PAGE 186

N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 17.1
LIBER 771, PAGE 141

N/F WEST PARISH OF BARNSTABLE
MAP 130, LOT 17
LIBER 771, PAGE 141

SURVEY LEGEND

| | |
|--|----------------------------|
| | EXISTING PROPERTY |
| | EXISTING ADJ. PROPERTY |
| | PROPOSED LEASE |
| | PROPOSED EASEMENT |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | EXISTING TREELINE |
| | EXISTING CHAINLINK FENCE |
| | EXISTING OVERHEAD WIRES |
| | EXISTING STONEWALL |
| | EXISTING BUILDING |
| | EXISTING ROAD (STONE) |
| | EXISTING ROAD (PAVED) |
| | SURVEY IRON PIN FOUND |
| | SURVEY BENCHMARK |
| | EXISTING UTILITY POLE |
| | EXISTING GUY ANCHOR |
| | EXISTING ELECTRIC METER |
| | EXISTING SIGN |
| | EXISTING ELECTRIC PULLBOX |
| | CONCRETE MONUMENT |
| | EXISTING STORM DRAIN INLET |
| | TITLE ITEM NUMBER |



NOTES CORRESPONDING TO TITLE COMMITMENT

THE COMMITMENT FOR TITLE INSURANCE, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. **FAMAT25924** WITH A COMMITMENT DATE OF **DECEMBER 30, 2018** CONTAINS THE FOLLOWING SURVEY RELATED ITEMS.

- ARTICLES OF AMENDMENT TO CHANGE THE NAME FROM WEST PARISH MEMORIAL FOUNDATION INC. TO 1717 MEETINGHOUSE FOUNDATION, INC., DATED FEBRUARY 26, 2015 AND RECORDED MARCH 7, 2016 IN BOOK 31124, PAGE 165. NOT A SURVEY RELATED MATTER.
- MEMORANDUM OF LEASE AGREEMENT BY AND BETWEEN 1717 MEETINGHOUSE FOUNDATION, INC., A MASSACHUSETTS NONPROFIT CORPORATION, FKGA AND HOLDING TITLE TO REAL PROPERTY AS WEST PARISH MEMORIAL FOUNDATION, INC. AND AMERICAN TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY, DATED MARCH 23, 2018 AND RECORDED APRIL 30, 2018 IN BOOK 31231, PAGE 190. SHOWN HEREON.
- ALL MATTERS DISCLOSED ON PLAN OF LAND LOCATED AT #2049 MEETINGHOUSE WAY, DATED DECEMBER 12, 2000 AND RECORDED DECEMBER 14, 2000 IN BOOK 681 PAGE 74 IN BARNSTABLE COUNTY, MASSACHUSETTS. SHOWN HEREON.
- ALL MATTERS, TERMS, EXCEPTIONS, PROVISIONS, EASEMENTS, FEES AND/OR ASSESSMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS, IN INSTRUMENTS RECORDED WITH THE BARNSTABLE COUNTY REGISTRY OF DEEDS, BOOK 771, PAGE 141. REFERENCED PARCEL SHOWN HEREON.

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ATC TOWER SERVICES, INC
3533 REGENCY PARKWAY
SUITE 133
CARY, NC 27551
PHONE: (919) 468-0145
COA: D-0204

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| REV. | DESCRIPTION | BY | DATE |
|------|----------------------|----|----------|
| 4 | TITLE UPDATE | FW | 03/26/20 |
| 5 | PER COMMENT | FW | 03/30/20 |
| 6 | REVISED TOWER HEIGHT | FW | 04/02/20 |

ATC SITE NUMBER:
204799

ATC SITE NAME:
**CAPE HIGHWAY
MA**

SITE ADDRESS:
2049 MEETINGHOUSE WAY
WEST BARNSTABLE, MA 02668

SURVEY CERTIFICATE:
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON 03/26/2016 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (M.G.L. CHAPTER 41, SECTION 81X)



SURVEY LOGO:

| | |
|--------------|----------|
| DRAWN BY: | EL |
| APPROVED BY: | FW |
| DATE DRAWN: | 04/04/18 |
| ATC JOB NO: | 204799 |

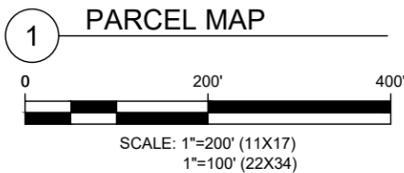
EXISTING CONDITIONS

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| V-102 | 6 |

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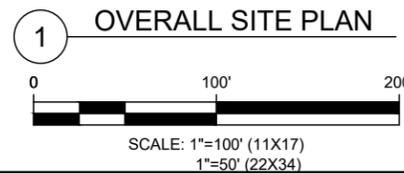
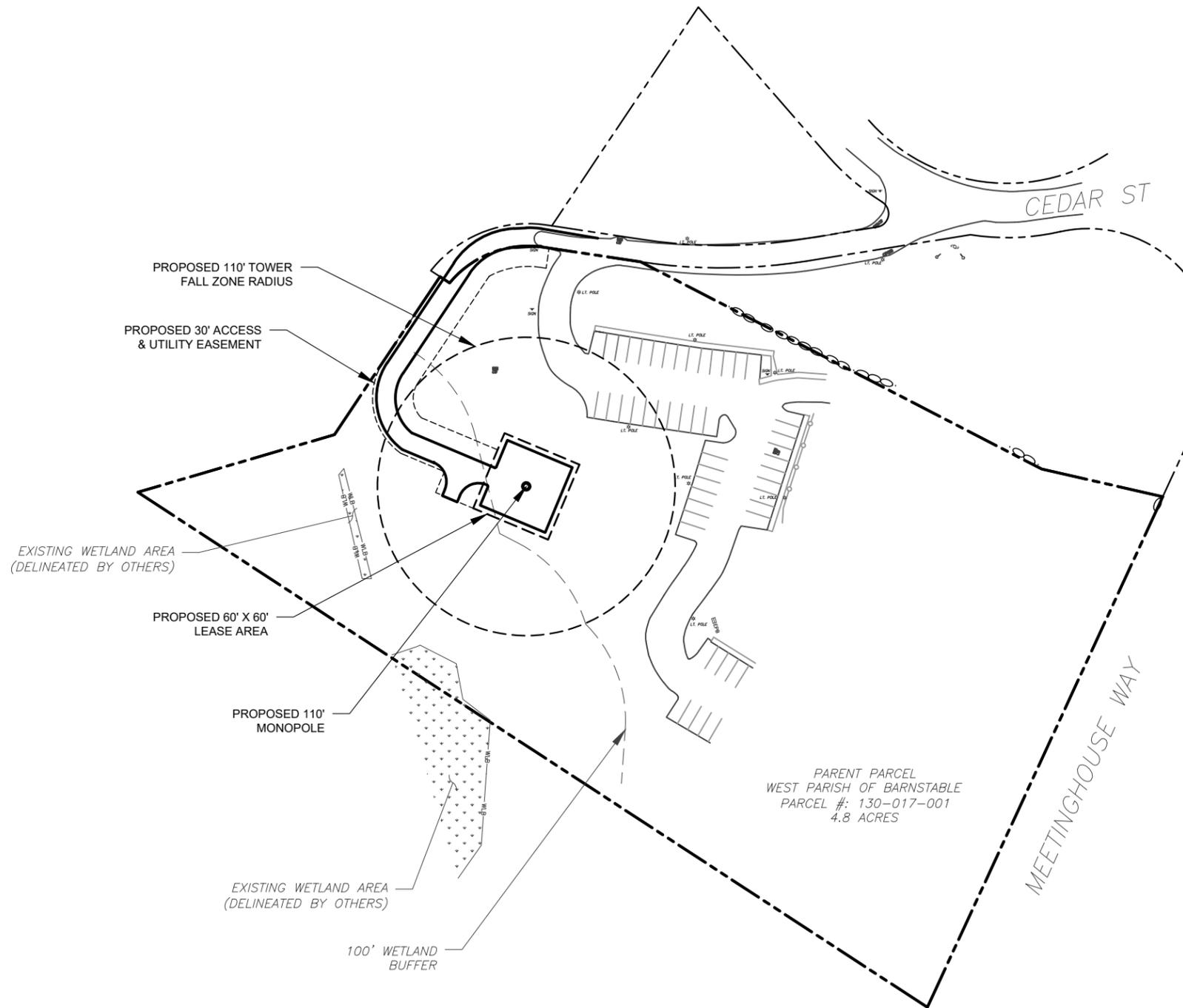
ZONING INFORMATION

| | | |
|-------------------------|---------------------|-------------------------|
| DISTRICT: RF | | |
| MIN AREA: | REQUIRED: 1 ACRE | PROPOSED: 0.16 ACRES |
| MAX HEIGHT: | 30' | 110' A.G.L. |
| MIN FRONTAGE: | 125' | N/A |
| MIN FALL ZONE: | NONE | 100' RADIUS |
| MIN FRONT YARD SETBACK: | 30' | 380'± |
| MIN SIDE YARD SETBACK: | 15' | 169'± |
| MIN REAR YARD SETBACK: | 15' | 188'± |



LEGEND

| | |
|--|--------------------------|
| | EXISTING PROPERTY |
| | EXISTING ADJ. PROPERTY |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | EXISTING TREELINE |
| | EXISTING CHAINLINK FENCE |
| | EXISTING BUILDING |
| | EXISTING STORM DRAIN |
| | EXISTING ROAD (STONE) |
| | EXISTING ROAD (PAVED) |
| | EXISTING CONCRETE |
| | EXISTING SETBACK LINE |
| | EXISTING WETLAND AREA |
| | PROPOSED LEASE AREA |
| | PROPOSED EASEMENT |
| | PROPOSED ACCESS ROAD |



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| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
| | | | |
| | | | |
| | | | |
| | | | |

ATC SITE NUMBER:
204799
 ATC SITE NAME:
CAPE HIGHWAY MA
 SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

OVERALL SITE PLAN

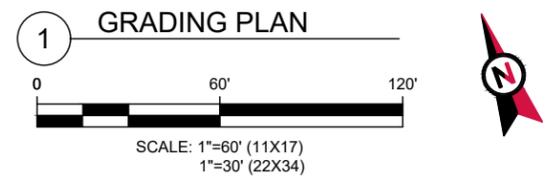
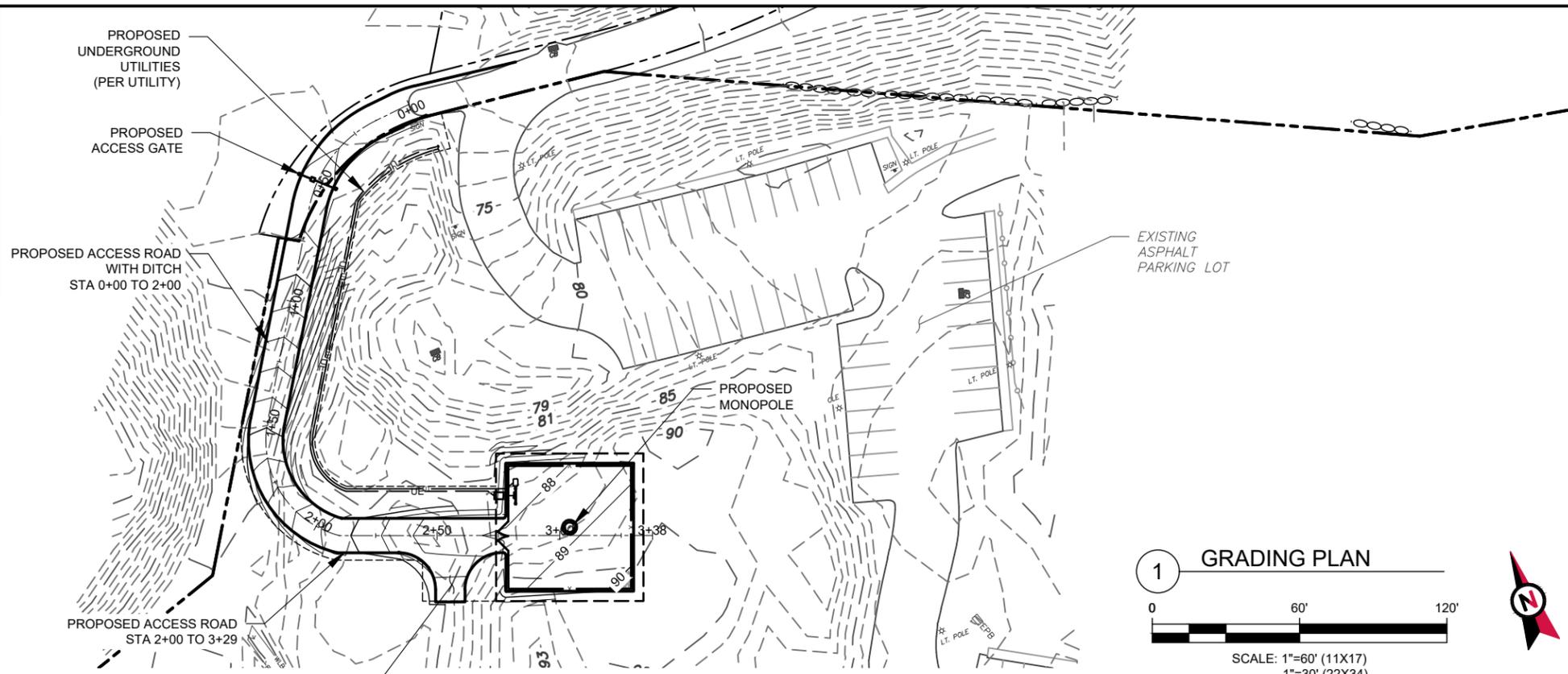
SHEET NUMBER:
C-101
 REVISION:
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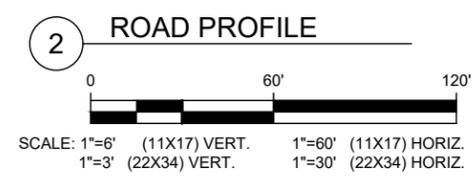
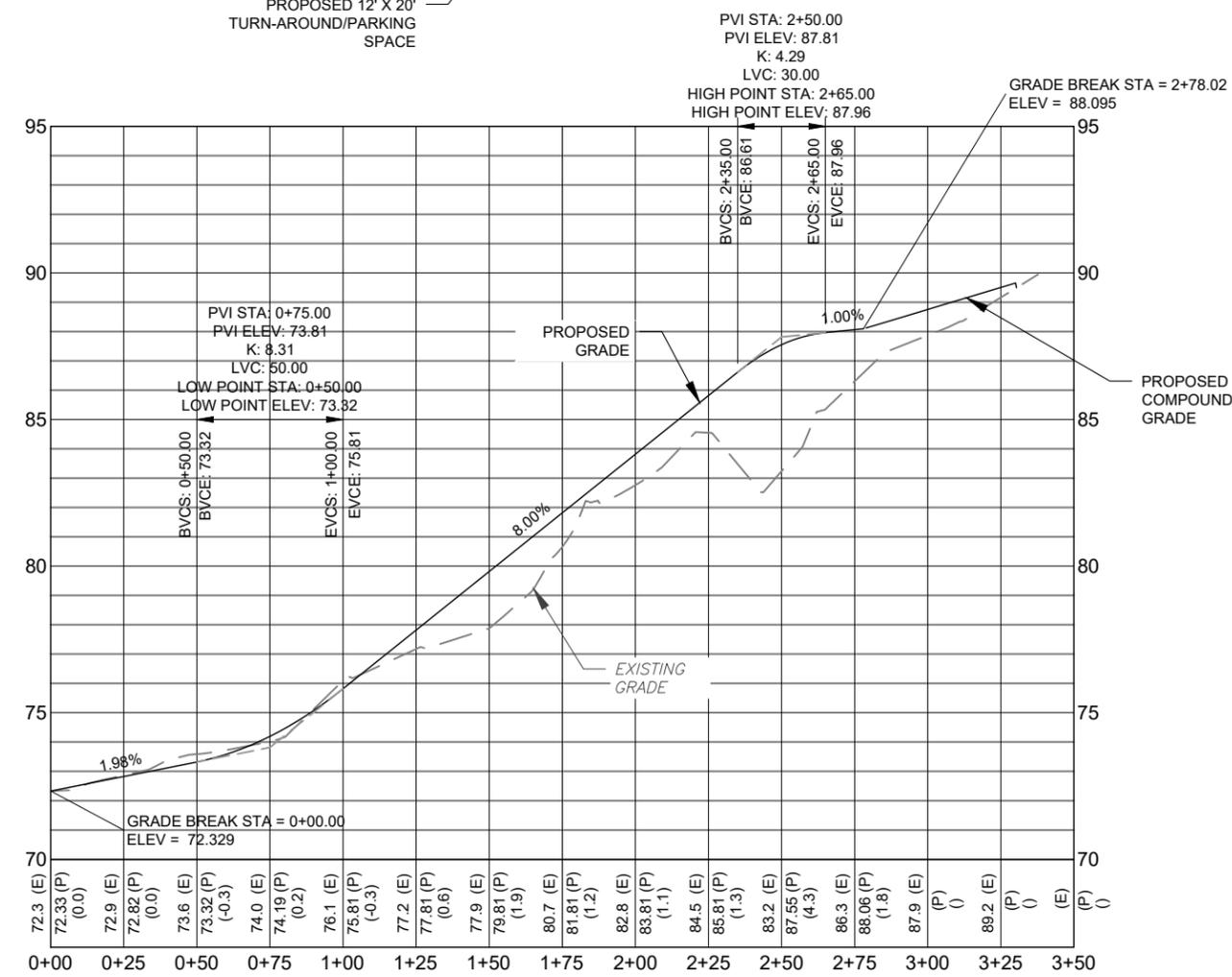
| CUT/FILL VOLUMES | CUT (yd ³) | FILL (yd ³) | NET (yd ³) | |
|------------------|------------------------|-------------------------|------------------------|------|
| ACCESS ROAD | 96.23 | 171.2 | 74.97 | FILL |
| COMPOUND | 27.11 | 76.47 | 49.36 | FILL |
| | | TOTAL | 124.33 | FILL |

| STONE REQUIRED FOR ROAD | AVE STONE DEPTH (in) | WIDTH (feet) | LENGTH (feet) | STONE IMPORT (yd ³) | STONE IMPORT (TONS) |
|-------------------------|----------------------|--------------|---------------|---------------------------------|---------------------|
| COMPOUND | 6 | 50 | 50 | 46.3 | 63.0 |
| ROAD COARSE | 6 | 14 | 278 | 72.1 | 98.1 |
| | | | TOTAL | 118.4 | 161.1 |

* CUT / FILL CALCULATIONS ARE APPROXIMATE. THE AMOUNT OF TOPSOIL THAT WILL NEED TO BE REMOVED AND THE COMPACTION AND SHRINKAGE FACTORS WILL VARY BASED ON SITE CONDITIONS
 * AMOUNT OF STONE TO IMPORT IS APPROXIMATE. THE CONTRACTOR SHALL FOLLOW THE DETAILS ON THE PLANS TO THE APPROPRIATE STONE DEPTHS



NOTES:
 1. THERE ARE NO PROPOSED PAVING/ASPHALT SURFACES AT THIS SITE, THEREFORE THE IMPERVIOUS AREA PROPOSED WILL EQUAL ZERO S.F.



LEGEND

| | |
|--|---------------------------|
| | EXISTING PROPERTY |
| | EXISTING ADJ. PROPERTY |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | EXISTING TREELINE |
| | EXISTING CHAINLINK FENCE |
| | EXISTING BUILDING |
| | EXISTING ROAD (STONE) |
| | EXISTING ROAD (PAVED) |
| | EXISTING CONCRETE |
| | PROPOSED LEASE AREA |
| | PROPOSED EASEMENT |
| | PROPOSED ACCESS ROAD |
| | PROPOSED CONTOUR (MAJOR) |
| | PROPOSED CONTOUR (MINOR) |
| | PROPOSED FENCE |
| | PROPOSED EDGE OF CLEARING |

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| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
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| | | | |
| | | | |

ATC SITE NUMBER:
204799

ATC SITE NAME:
CAPE HIGHWAY MA

SITE ADDRESS:
 2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

GRADING PLAN

SHEET NUMBER:
C-201

REVISION:
0

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| 0 | FOR PERMITTING | NRP | 04/10/20 |
| | | | |
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| | | | |

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

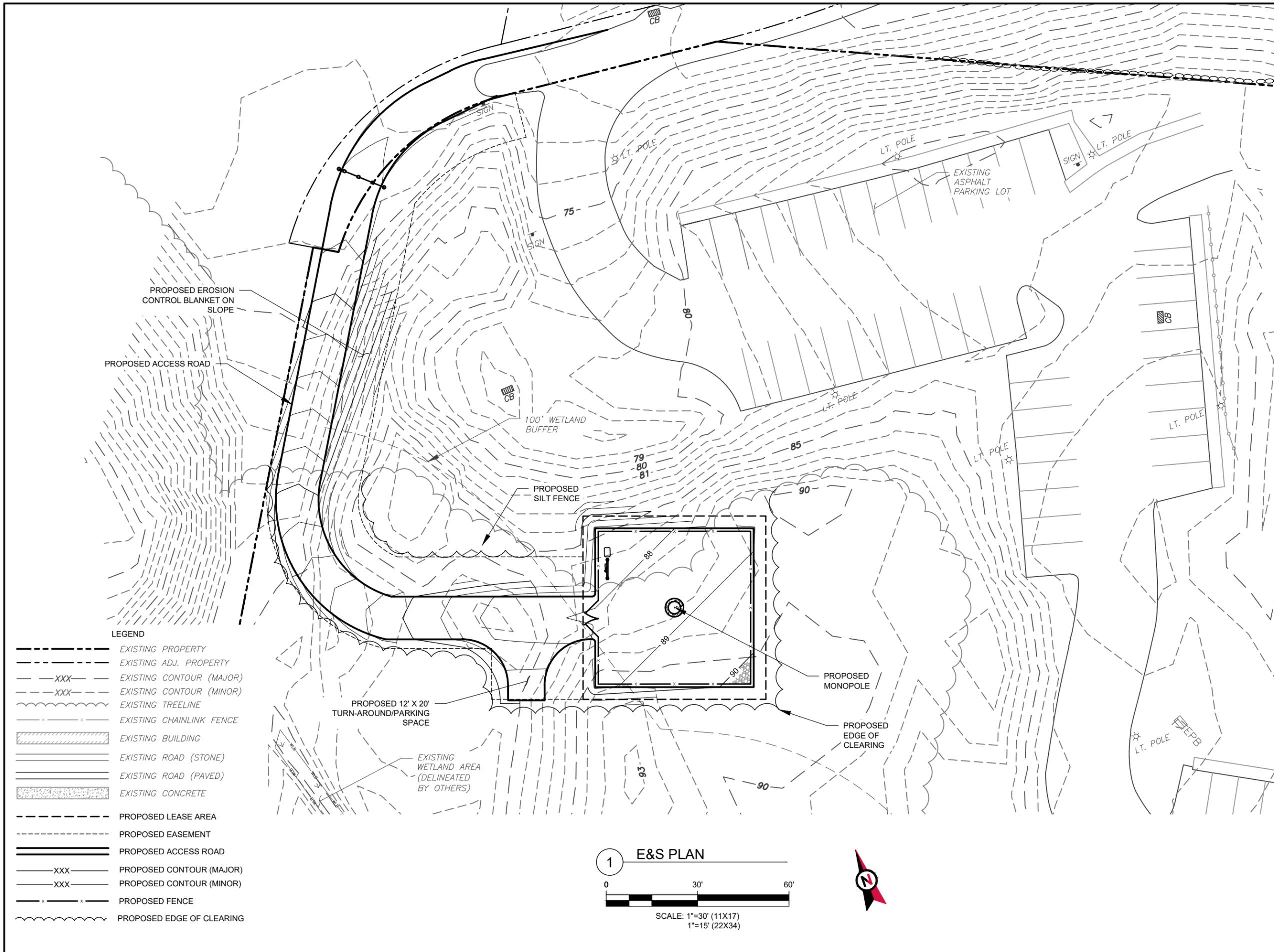
SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

**EROSION &
 SEDIMENTATION
 CONTROL PLAN**

SHEET NUMBER:
C-202

REVISION:
0



LEGEND

- EXISTING PROPERTY
- EXISTING ADJ. PROPERTY
- XXX--- EXISTING CONTOUR (MAJOR)
- XXX--- EXISTING CONTOUR (MINOR)
- ~ ~ ~ EXISTING TREELINE
- x-x-x- EXISTING CHAINLINK FENCE
- ▨ EXISTING BUILDING
- ▬ EXISTING ROAD (STONE)
- ▬ EXISTING ROAD (PAVED)
- ▨ EXISTING CONCRETE
- - - - - PROPOSED LEASE AREA
- - - - - PROPOSED EASEMENT
- ▬▬▬ PROPOSED ACCESS ROAD
- XXX--- PROPOSED CONTOUR (MAJOR)
- XXX--- PROPOSED CONTOUR (MINOR)
- x-x-x- PROPOSED FENCE
- ~ ~ ~ PROPOSED EDGE OF CLEARING



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| 0 | FOR PERMITTING | NRP | 04/10/20 |
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ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

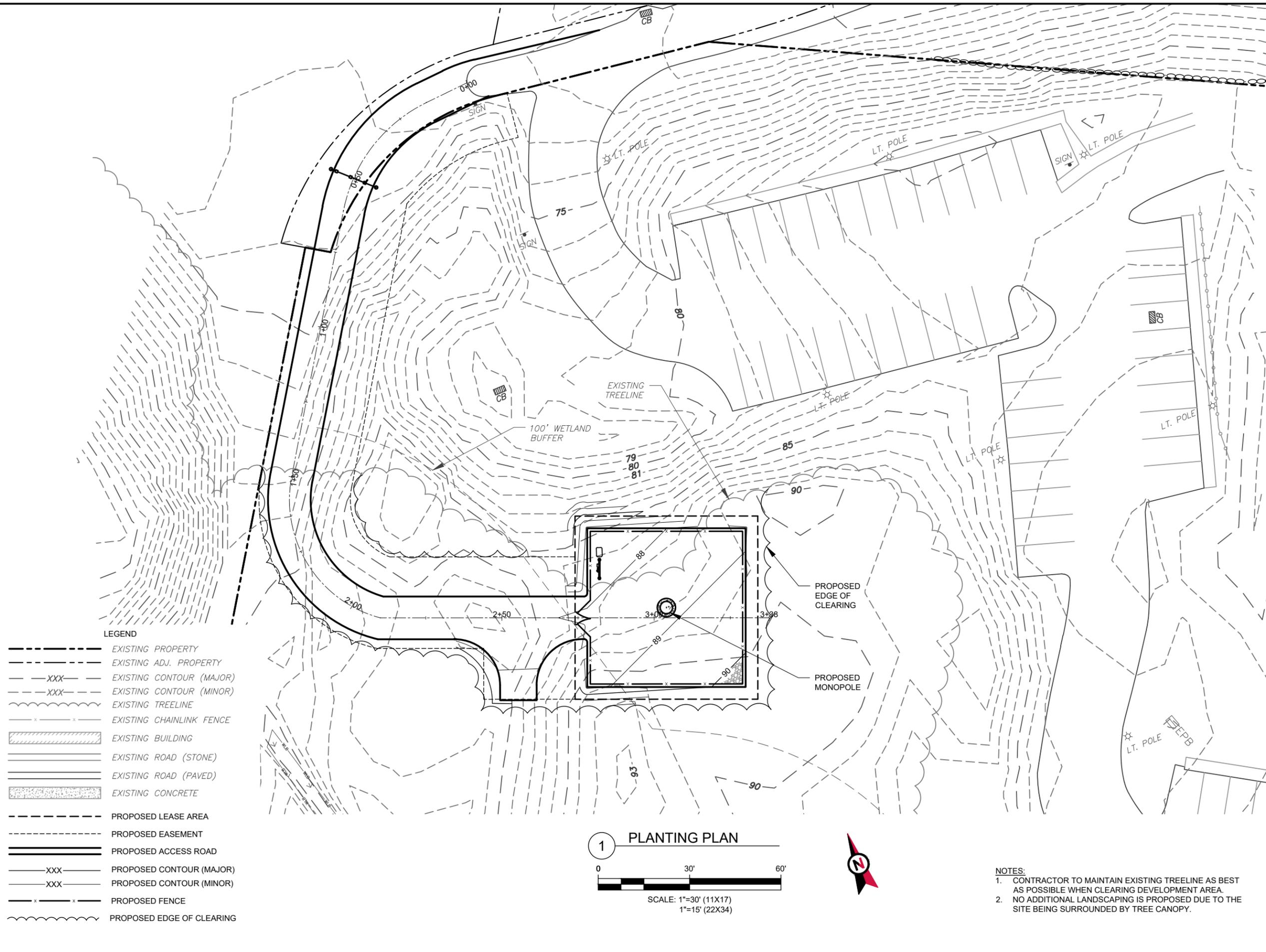
2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

PLANTING PLAN

SHEET NUMBER: **C-203** REVISION: **0**



LEGEND

- EXISTING PROPERTY
- EXISTING ADJ. PROPERTY
- XXX--- EXISTING CONTOUR (MAJOR)
- XXX--- EXISTING CONTOUR (MINOR)
- ~ ~ ~ EXISTING TREELINE
- x-x-x- EXISTING CHAINLINK FENCE
- ▨ EXISTING BUILDING
- ==== EXISTING ROAD (STONE)
- ==== EXISTING ROAD (PAVED)
- ▨ EXISTING CONCRETE
- - - - - PROPOSED LEASE AREA
- - - - - PROPOSED EASEMENT
- ==== PROPOSED ACCESS ROAD
- XXX--- PROPOSED CONTOUR (MAJOR)
- XXX--- PROPOSED CONTOUR (MINOR)
- x-x-x- PROPOSED FENCE
- ~ ~ ~ PROPOSED EDGE OF CLEARING

1 PLANTING PLAN

0 30' 60'

SCALE: 1"=30' (11X17)
 1"=15' (22X34)

- NOTES:**
- CONTRACTOR TO MAINTAIN EXISTING TREELINE AS BEST AS POSSIBLE WHEN CLEARING DEVELOPMENT AREA.
 - NO ADDITIONAL LANDSCAPING IS PROPOSED DUE TO THE SITE BEING SURROUNDED BY TREE CANOPY.

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| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
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ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

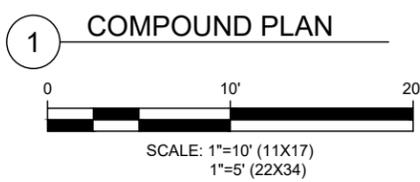
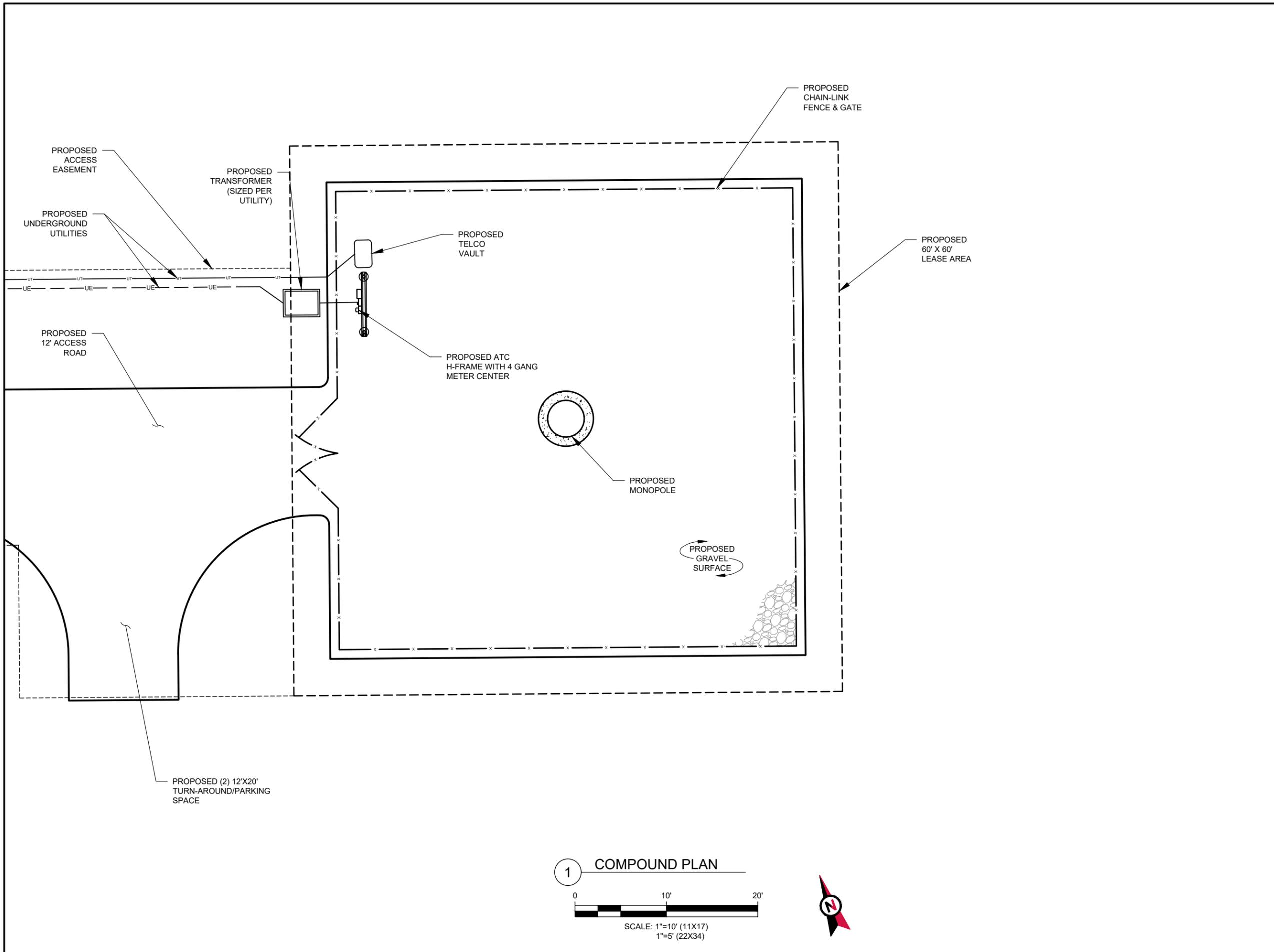
2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

COMPOUND PLAN

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| C-401 | 0 |





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| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
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| | | | |
| | | | |

ATC SITE NUMBER:

204799

ATC SITE NAME:

CAPE HIGHWAY MA

SITE ADDRESS:

2049 MEETINGHOUSE WAY
 BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

TOWER ELEVATION

| | |
|---------------|-----------|
| SHEET NUMBER: | REVISION: |
| C-402 | 0 |

TOP OF BRANCHING
 ELEV. 204.5' AMSL
 ELEV. 115' A.G.L.

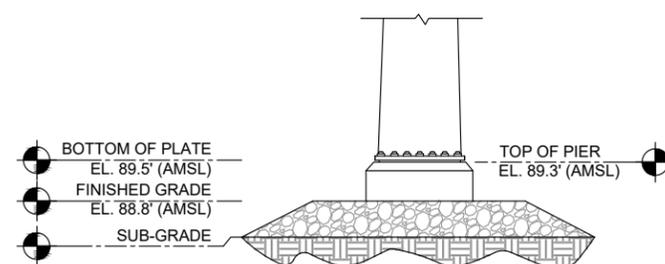
TOP OF PROPOSED TOWER
 ELEV. 199.5' AMSL
 ELEV. 110' A.G.L.

PROPOSED CARRIER ANTENNAS
 RAD CENTER 105' A.G.L.

FUTURE CARRIER ANTENNAS
 RAD CENTER 95' A.G.L.

FUTURE CARRIER ANTENNAS
 RAD CENTER 85' A.G.L.

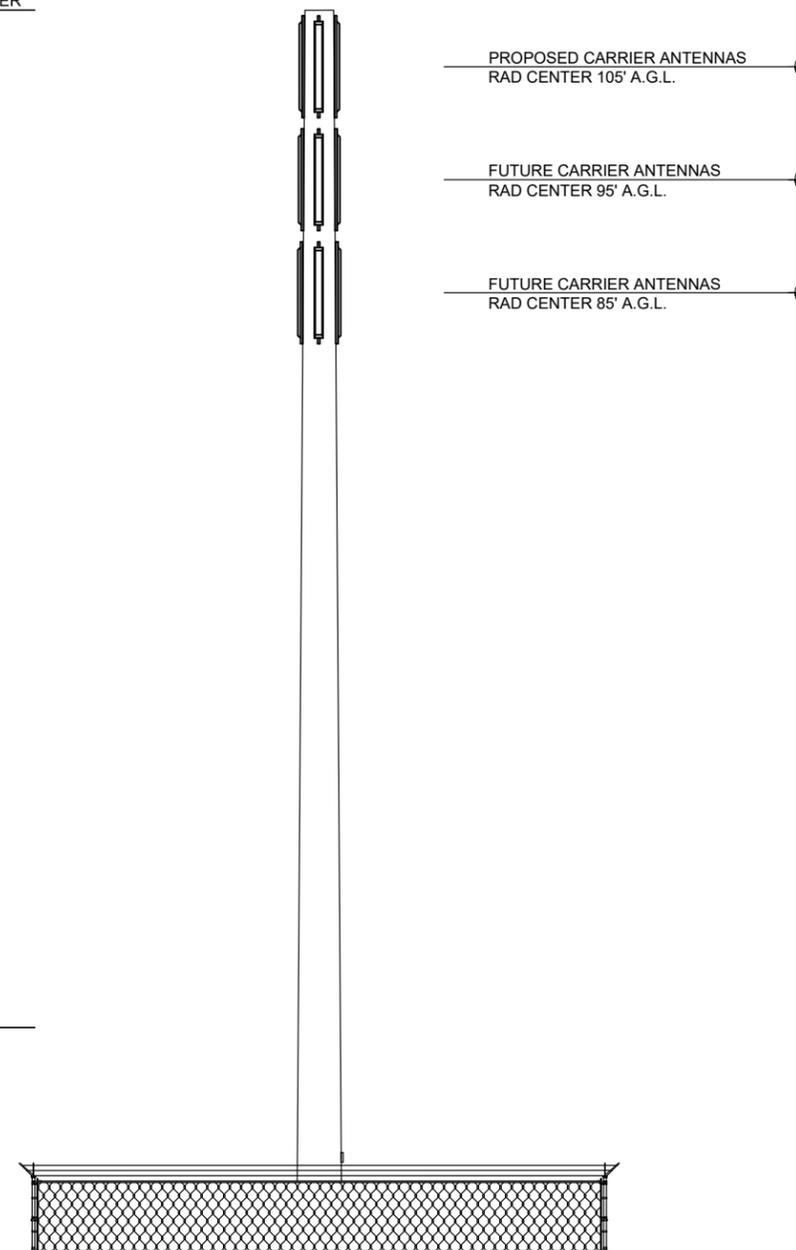
TOWER NOTE:
 1. NO LIGHTING IS REQUIRED BY FAA.



1 TOWER BASE ELEVATION
 SCALE: NOT TO SCALE

BOTTOM OF BRANCHING
 ELEV. 20' A.G.L.

PROPOSED GRADE
 ELEV 88.8' AMSL
 ELEV 0' A.G.L.



2 PROPOSED TOWER ELEVATION
 SCALE: NOT TO SCALE

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**Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.**

**For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.**

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

NO TRESPASSING

ATC CAUTION AND NO TRESPASSING SIGN



**Beyond this point:
Radio frequency fields at this site
may exceed FCC rules for human
exposure.**

**For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.**

In accordance with Federal Communications
Commission rules on radio frequency emissions 47 CFR 1.1307(b)

ATC RF WARNING AND FCC NUMBER SIGN

FCC TOWER REGISTRATION #

Posting of sign required by law

ATC STAND-ALONE FCC TOWER
REGISTRATION SIGN



NOTICE
**GUIDELINES FOR WORKING IN
RADIOFREQUENCY ENVIRONMENTS**

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owners and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shields during normal operation.
- ⚠ Do not operate base station antennas in equipment room.

ATC RF PROGRAM NOTICE SIGN



SITE NAME : CAPE HIGHWAY MA
SITE NUMBER : 204799
FCC REGISTRATION # : NOT REQUIRED

FOR LEASING INFORMATION: 877-282-7483
877-ATC-SITE

FOR EMERGENCIES CALL: 877-518-6937
877-51-TOWER

NO TRESPASSING

www.americantower.com

POSTING OF THIS SIGNAGE REQUIRED BY LAW

ATC SITE SIGN

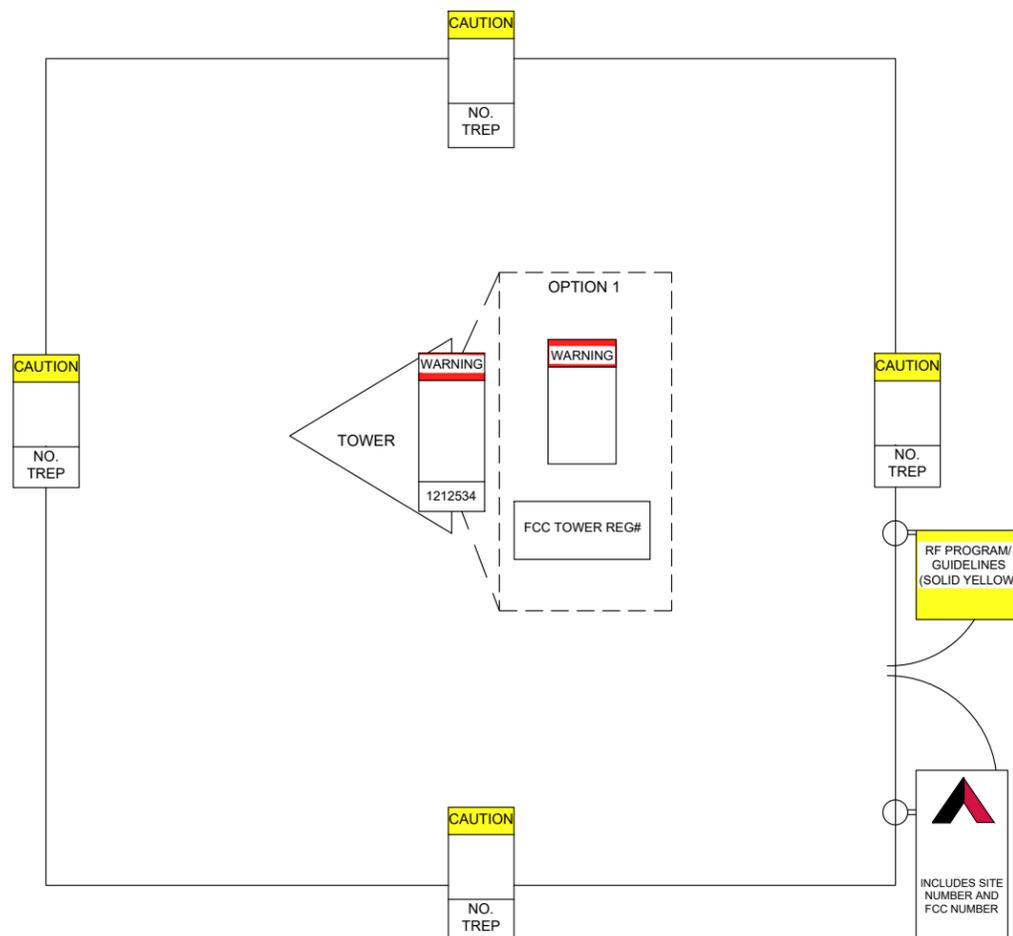
REPLACEMENT OF SIGNAGE:

AS SIGNAGE BECOMES STOLEN, DAMAGED, BRITTLE OR FADED, IT SHOULD BE REPLACED WITH SIGNAGE PER THIS SPECIFICATION. ANY ACQUIRED SITE SHOULD HAVE NEW SIGNS POSTED WITHIN 60 DAYS UNLESS OTHERWISE SPECIFIED. ANY SITE SOLD SHOULD HAVE THE ATC SIGNS REMOVED WITHIN 30 DAYS UNLESS OTHERWISE SPECIFIED. ALL FCC OR REGULATORY SIGNAGE MUST BE INSTALLED OR REPLACED AS REQUIRED TO MEET OUR STANDARD. SIGNS SHOULD BE REPLACED ON NORMAL, QUARTERLY MAINTENANCE VISITS BY CONTRACTORS OR SITE MANAGERS, UNLESS OTHERWISE REQUIRED ON A CASE-BY-CASE BASIS.

NOTE:

EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC. ALL EXISTING SIGNAGE AND ANY FUTURE SIGNAGE WILL BE COMPLIANT WITH STATUTE 164-43.4 NO HIGH-VOLTAGE SIGNAGE IS NECESSARY. NO HIGH-VOLTAGE EQUIPMENT PRESENT.

A "NO TRESPASSING" SIGN MUST BE POSTED A MINIMUM OF EVERY 50'.



THERE MUST BE AN ATC SIGN WITH SITE INFORMATION AND FCC REGISTRATION NUMBER AT BOTH THE ACCESS ROAD GATE (GATE OFF OF MAIN ROAD, IF APPLICABLE) AND COMPOUND FENCE (IF NO COMPOUND FENCE, THEN IN A CONSPICUOUS PLACE UPON DRIVE UP). IN ADDITION, PLEASE LOOK AT DIAGRAM FOR ALL ADDITIONAL SIGNS REQUIRED.

OPTION 1 MAY BE USED TO POST TOWER REGISTRATION NUMBERS AT THE BASE OF THE TOWER IF A WARNING SIGN DOES NOT HAVE SPACE FOR THE TOWER REGISTRATION NUMBER.

IMPORTANT: FOR ANY ATC SIGN THAT DOES NOT MEET THE ATC SPECIFICATION FOR SIGNAGE (I.E., SHARPIE/PAINT PEN, WORN LABELS, ETC.), BRING IT INTO COMPLIANCE (RE-WRITE IF WORN) AND FLAG FOR REPLACEMENT ASAP WITH THE APPROPRIATE PERMANENT SIGN (YOU CAN ORDER THESE THROUGH THE WAREHOUSE).

ONLY LABELS PRINTED BY A ZEBRA LABEL PRINTER WILL BE ACCEPTED.



AMERICAN TOWER®
ATC TOWER SERVICES, LLC
3500 REGENCY PARKWAY
SUITE 100
CARY, NC 27518
PHONE: (919) 468-0112

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

| REV. | DESCRIPTION | BY | DATE |
|------|----------------|-----|----------|
| 0 | FOR PERMITTING | NRP | 04/10/20 |
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ATC SITE NUMBER:
204799

ATC SITE NAME:
CAPE HIGHWAY MA

SITE ADDRESS:
2049 MEETINGHOUSE WAY
BARNSTABLE, MA 2668

SEAL:

| | |
|---------------|----------|
| DRAWN BY: | NRP |
| APPROVED BY: | PPB |
| DATE DRAWN: | 04/10/20 |
| ATC JOB NO: | 12484809 |
| ATC LEGACY #: | RAWLAND |

SIGNAGE

SHEET NUMBER: **C-501** REVISION: **0**