



**The Trustees**  
200 High Street, 4th Floor  
Boston, MA 02110  
tel 617.542.7696  
[thetrustees.org](http://thetrustees.org)

April 14, 2023

Mr. Lindsey Counsell, Chairman  
Barnstable Community Preservation Committee  
367 Main Street  
Hyannis, MA 02601

Dear Mr. Counsell:

On behalf of The Trustees of Reservations, I respectfully submit the following application to the Barnstable Community Preservation Committee requesting a grant of \$170,000 to support a thoughtful, community-focused renovation of Armstrong-Kelley Park, an 8.5-acre garden and woodland property located on Main Street in Osterville.

In 2019, The Trustees was approached by the Cape Cod Horticultural Society, which has owned and cared for the park since 1930, to protect this important community asset in perpetuity through integration of the organizations. The Trustees has already begun a renewal transformation project, an estimated investment of \$1.425 million, to elevate the horticultural experience, remove any physical barriers to accessibility, and provide recreational programming for the community, all the while ensuring that the land is permanently protected from development and remains true to its history and identity.

The project component identified by the Barnstable CPC and the Trustees as applicable for CPA funding is the creation of a children's play garden, designed by play space consultant Lu-La Design. As you will see in the attached documentation from Gardens for Life, the children's play garden is designed to encourage movement, exploration, and sensory engagement. Three terraces, The Logs, The Village, and The Woods invite visitors of all ages to engage with materials found at the Park and at other Trustees' properties. We are thrilled at the prospect of bringing Garden for Life's vision to reality at Armstrong-Kelley Park for the recreational enjoyment of residents and visitors of all ages. Interpretive signage is proposed to invite visitors to engage with the garden as well as acknowledge the support of CPA funding in its creation.

Founded in 1891 with a mission to preserve, for public use and enjoyment, properties of exceptional ecological, scenic, and historic importance, today The Trustees cares for 120 sites across the state. We have the experience and expertise to steward this cherished park for generations to come, preserving the spirit of place that makes Armstrong-Kelley Park special. Our thanks to you and to the entire Committee for consideration of our request.

Warmly,

Anne Smith-White  
Trustees Director, South Shore Portfolio

# CPC APPLICATION (Page 1)

*Appropriated CPA funds require one or more deed restrictions (conservation / historic preservation / housing). Sample restrictions are available at the Official Website of the Town of Barnstable [www.town.barnstable.ma.us](http://www.town.barnstable.ma.us). If the restriction is prepared by the applicant, the first draft of the restriction should be provided to the CPC Administrative Assistant. If the applicant is not preparing the restriction, a consultant will contact the applicant to assist in the drafting of the appropriate restriction afterwards are appropriated. The Town of Barnstable Legal Department and Legal Consultant shall review and approve the restriction prior to the final commitment of the CPA funds to the project.*

**Submission Date:** April 14, 2023

**Project Title:** Children's Play Garden at Armstrong-Kelley Park

**Project Map/Parcel Number:** Map 141, Page 38

**Estimated Start Date:** September 2023

**Estimated Completion Date:** November 2023

**Purpose (please circle all that apply):**

Open Space_	Public
Community Housing	Private
Historic	<u>Non-Profit</u>
<u>Recreation</u>	<u>Partnership</u> (Describe below #3)
<b>Town Affiliation**</b>	

**\*\*Please note: All Town CPC Applications must be approved by the Town Manager prior to submission.**

**Applicant Contact:**

Name: Anne Smith-White

Organization (if applicable): The Trustees of Reservations

Address: 200 High Street, 4<sup>th</sup> Floor, Boston, MA 02110

Mailing Address: Weir River Farm, 140 Turkey Hill Lane, Hingham, MA 02043

Daytime Phone#: 781-259-3655

E-mail Address: [asmithwhite@thetrustees.org](mailto:asmithwhite@thetrustees.org)

**Primary Contact (if different from applicant contact):**

Name: Elizabeth Keary Soule

Address: 200 High Street, 4<sup>th</sup> Floor, Boston, MA 02110

Mailing Address: 572 Essex Street, Beverly, MA 01915

Daytime Phone#: 978-338-1154

E-mail Address: [ekearysoule@thetrustees.org](mailto:ekearysoule@thetrustees.org)

# CPC APPLICATION (page 2)

*Appropriated CPA funds require one or more deed restrictions (conservation / historic preservation / housing). Sample restrictions are available at the Official Website of the Town of Barnstable [www.town.barnstable.ma.us](http://www.town.barnstable.ma.us). If the restriction is prepared by the applicant, the first draft of the restriction should be provided to the CPC Administrative Assistant. If the applicant is not preparing the restriction, a consultant will contact the applicant to assist in the drafting of the appropriate restriction afterwards are appropriated. The Town of Barnstable Legal Department and Legal Consultant shall review and approve the restriction prior to the final commitment of the CPA funds to the project.*

## **Budget Summary:**

Total budget for project: \$1,425,000

CPA funding request: \$170,000

Matching funds (committed): \$1,255,000

## **Please address the following questions:**

### 1. Project summary (description and goals):

The Trustees of Reservations (The Trustees) requests funding from the Barnstable Community Preservation Committee (CPC) for an essential component of ongoing stewardship investments at Armstrong-Kelley Park, a beloved community greenspace in the heart of Osterville. This transformation, which began in the Spring of 2022 with property-wide buffer and specimen plantings, seeks to improve horticulture diversity, active and passive recreational opportunities, pedestrian and vehicular access, parking, and stormwater management, while ensuring that the land is protected from development and remains true to its history and identity.

The essential component of this transformation identified as applicable for Community Preservation Act (CPA) funding is the construction of a new, nature-based children's play area.. The children's play area, further explored in this application, intends to diversify recreational opportunities at the Park and within the Town. Funding from the Barnstable CPC will support this important work that both respects the existing character of the Park while creating a new recreational feature accessible to all.

### 2. How does this project help preserve Barnstable's character?

Since 1930, Armstrong-Kelley Park has been owned and managed by the Cape Cod Horticultural Society (CCHS). In 2019, the CCHS approached The Trustees to protect this important community asset in perpetuity through integration of the organizations. Founded in 1891 with a mission to preserve, for public use and enjoyment, properties of exceptional ecological, scenic, and historic importance, today The Trustees cares for 120 sites across the state. The children's play garden is an integral part of extensive investments that The Trustees is making in the care and renewal of the Park to steward this cherished place for enjoyment by all. The play area is not a traditional playground but instead is designed for open-ended and nature-based play intended to foster a love for the outdoors for generations to come. The accessible pedestrian circulation running through the garden will be a permeable stone dust material, appropriate for the Park and for Barnstable.

### 3. Partnership(s) Description:

The Trustees completed an integration agreement with the Cape Cod Horticultural Society (CCHS) which has cared for Armstrong-Kelley Park since 1930. Upon completion of the agreement at the end of 2021, The Trustees became the permanent steward and manager of the Park. We continue to work closely with the dedicated members of the CCHS board, some of whom sit on our property committee, while others remain dedicated volunteers in weekly maintenance of the Park. However, the bulk of renewal investment, stewardship, public relations, engagement and programming, and all fiduciary responsibility now rests with The Trustees.

4. Provide a detailed project timeline:

Pending contractor schedule and permitting, the children's play garden will be installed in the Fall of 2023. Construction is anticipated to take approximately a month.

5. How does this project meet the General Criteria and Category Specific Criteria for CPC projects?

The children's play garden meets criteria for **Recreational** CPC objectives. This will be a completely new feature in the park, expanding opportunities for the public to engage in active outdoor and nature-based recreation. Playgrounds are specifically identified in the CPA Legislation as falling under applicable recreational use. As universal accessibility is a priority for the Trustees, the play garden will also meet ADA regulation in both material and condition.

6. Provide a detailed budget, including the following information, as applicable: (Fiscal Year, Total Cost, CPC Funds Requested, Other Sources of Funding sought and received, and cost estimates/quotes received):

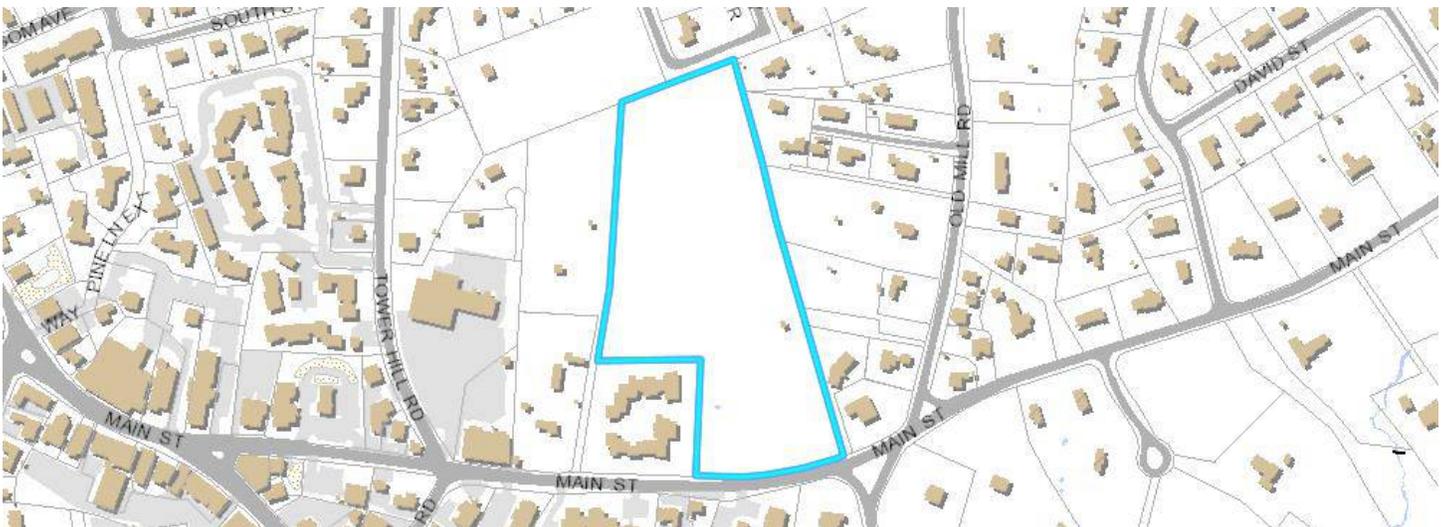
Budget estimates for the construction of the children's play garden is attached to this submission. Some of these numbers come from an estimate provided by Robert B. Our Co. Inc. on 3/8/22. This estimate has also been included in this application. Remaining numbers come from in-house estimates as staff-performed construction was determined to be the most cost-effective path forward for portions of this effort.

7. Assessors office identification map and map and parcel number

Map/Block/Lot: 141 / 038

Parcel: 141038

Address: 675 Main Street, Osterville



\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Applicant Partner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Town Manager (Town Affiliated Projects)

\_\_\_\_\_  
Date



# ARMSTRONG-KELLEY PLAY GARDEN

PROJECT:  
**ARMSTRONG-KELLEY PARK  
 PLAY GARDEN**  
 675 MAIN ST.  
 OSTERVILLE, MA  
 02655

THE TRUSTEES

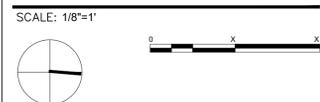
**GENERAL PROJECT NOTES**

1. PLANS ARE FOR PRICING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATIONS. ALL REQUIRED
3. INSPECTIONS AND PERMITS SHALL BE PROVIDED BY CONTRACTOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD AND FOR FAMILIARIZING THEMSELVES WITH ALL EXISTING UNDERGROUND CONDITIONS PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REPLACING AT THEIR EXPENSE ANY STRUCTURES, FENCES, WALLS OR PLANT LIFE DAMAGED OR DESTROYED BY THEIR CONSTRUCTION OPERATIONS, ON ADJACENT PROPERTIES AND/OR ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. DAMAGED ITEMS WILL BE RESTORED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
6. ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE PROJECT SITE BY THE CONTRACTOR AND BEFORE WORK BEGINS. LAYOUT DIMENSIONS ARE REPRESENTATIONAL, AS LAYOUT IS DETERMINED BY (E) LAURELS AND LANDSCAPE ARCHITECT WILL LAYOUT PATH IN FIELD WITH CONTRACTORS. ERRORS AND OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS OR IMMEDIATELY AS IDENTIFIED.
7. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, UTILITIES, AND OTHER SERVICES AND RELATED TASKS NECESSARY FOR THE CONSTRUCTION AS REQUIRED BY THE CONTRACT DOCUMENTS.
8. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS AND COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKERS AND PEDESTRIANS PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT PROJECT AREA. CONTRACTOR SHALL ADVISE ON INSTALLATION OF DRAINAGE FEATURES SUCH AS DRAIN INLETS, DRAIN LINES AND FRENCH DRAINS IF NECESSARY TO ENSURE POSITIVE DRAINAGE THROUGHOUT SITE.

Drawing Index	
Sheet Number	Sheet Title
L0.0	COVER SHEET
L1.0	TREE PROTECTION & SELECTIVE DEMO
L1.1	LAYOUT & MATERAILS
L1.2	GRADING & SURFACING
L1.4	PLANTING
L2.0	SITE SECTIONS
2.1	DETAILS SURFACING & SITE FURNISHING
2.2	DETAILS PLAY ELEMENTS
2.3	DETAILS PLANTING

MARK	DATE	DESCRIPTION
	04/13/2023	PRICING SET

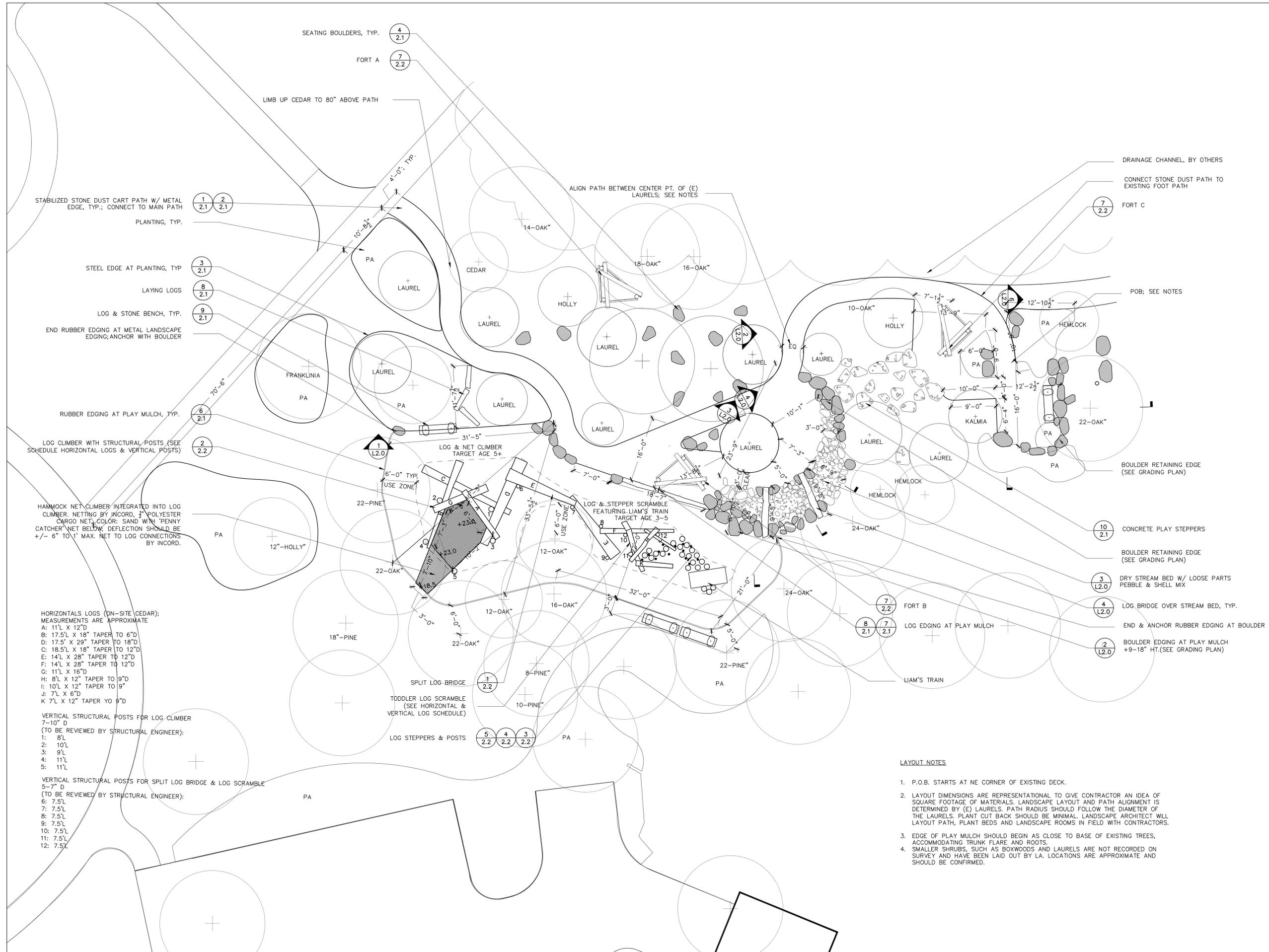
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 FILE NAME: ARMSTRONG KELLEY PLAY GARDEN  
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SHEET TITLE:  
**COVER**

**L0.0**





PROJECT:  
**ARMSTRONG-KELLEY PARK  
 PLAY GARDEN**  
 675 MAIN ST.  
 OSTERVILLE, MA  
 02655

THE TRUSTEES

MARK	DATE	DESCRIPTION
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SHEET TITLE:  
**LAYOUT &  
 MATERIALS PLAN**

- LAYOUT NOTES
- P.O.B. STARTS AT NE CORNER OF EXISTING DECK.
  - LAYOUT DIMENSIONS ARE REPRESENTATIONAL TO GIVE CONTRACTOR AN IDEA OF SQUARE FOOTAGE OF MATERIALS. LANDSCAPE LAYOUT AND PATH ALIGNMENT IS DETERMINED BY (E) LAURELS. PATH RADIUS SHOULD FOLLOW THE DIAMETER OF THE LAURELS. PLANT CUT BACK SHOULD BE MINIMAL. LANDSCAPE ARCHITECT WILL LAYOUT PATH, PLANT BEDS AND LANDSCAPE ROOMS IN FIELD WITH CONTRACTORS.
  - EDGE OF PLAY MULCH SHOULD BEGIN AS CLOSE TO BASE OF EXISTING TREES, ACCOMMODATING TRUNK FLARE AND ROOTS.
  - SMALLER SHRUBS, SUCH AS BOXWOODS AND LAURELS ARE NOT RECORDED ON SURVEY AND HAVE BEEN LAID OUT BY LA. LOCATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED.



**SURFACING NOTES**

1. ADD LEAF MULCH AND HEAL IN WITH EXISTING FOREST FLOOR WHERE GRAVEL HAS BEEN REMOVED.

**GRADING NOTES**

1. MAKE TRANSITIONS BETWEEN CHANGES IN GRADES SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES UNLESS SHOWN OTHERWISE.
2. OBTAIN AESTHETIC ACCEPTANCE OF ROUGH GRADING FROM LANDSCAPE ARCHITECT PRIOR TO LAYING STONE DUST AND AMENDING SOIL.
3. OBTAIN AESTHETIC ACCEPTANCE FROM LANDSCAPE ARCHITECT OF FINE GRADING PRIOR TO PLANTING.
4. WHERE TYING INTO EXISTING PAVING OR CONFORMING WALKS TO EXISTING CONDITIONS, VERIFY IN FIELD THAT CROSS SLOPE OF WALKS IS LESS THAN 2% PRIOR TO INSTALLATION.

PROJECT:  
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 PLAY GARDEN**  
 675 MAIN ST.  
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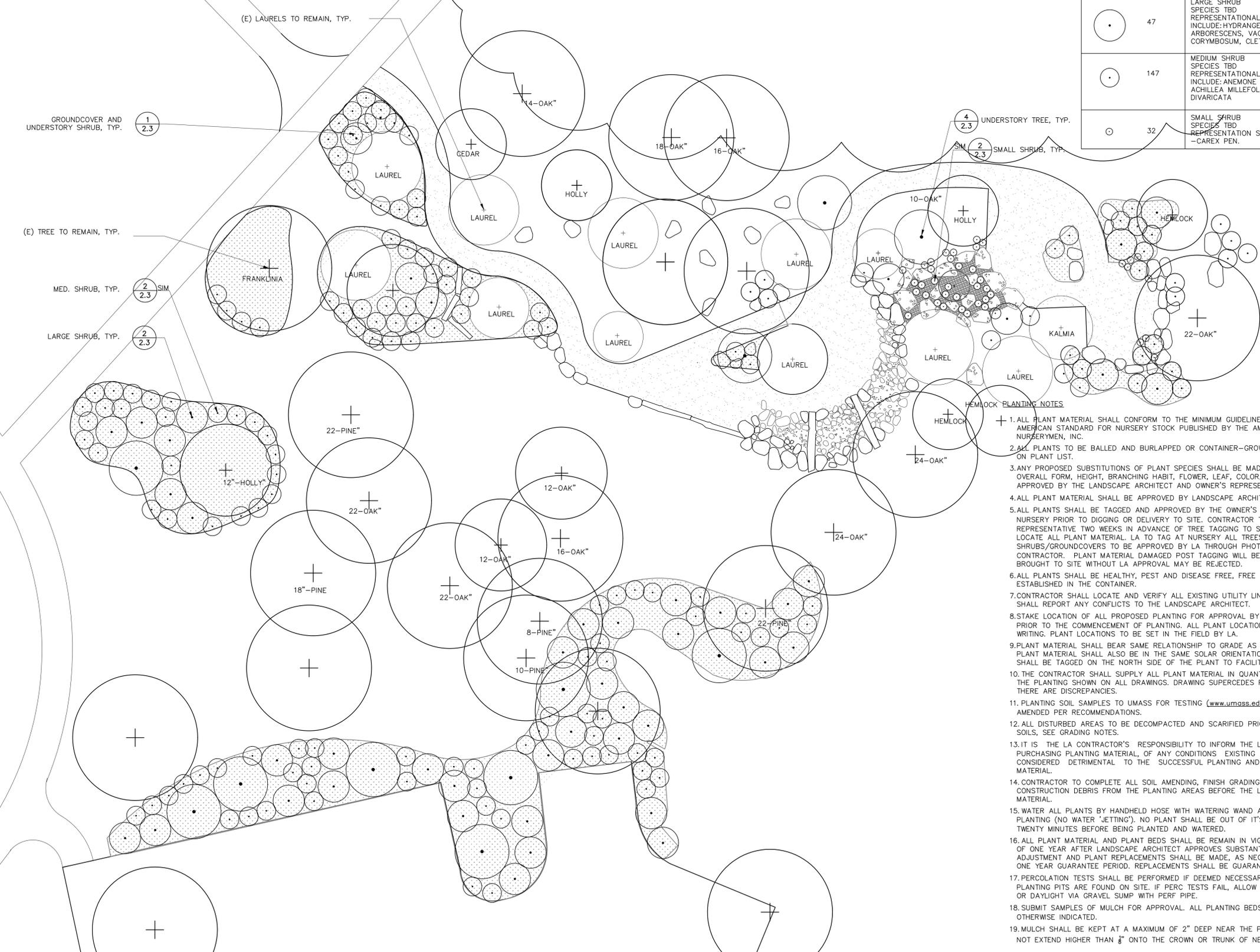
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SHEET TITLE:  
**GRADING &  
 SURFACING**

**L1.2**  
 SHEET 3 OF 8

LANDSCAPED AREAS			
SYMBOL	APPROX. QTY	REPRESENTATIVE SPECIES	SIZE
	3300 SF	GROUND COVER AND UNDERSTORY SHRUB PLANTING SPECIES TBD	PLUGS
	11	UNDERSTORY TREE SPECIES TBD REPRESENTATIONAL SPECIES INCLUDE: AMELANCHIER BARTRAMIANA, CORNUS FLORIDA	36" BOX
	47	LARGE SHRUB SPECIES TBD REPRESENTATIONAL SPECIES INCLUDE: HYDRANGEA ARBORESCENS, VACCINIUM CORYMBOSUM, CLETHRA ALNIFOLIA	5 GAL
	147	MEDIUM SHRUB SPECIES TBD REPRESENTATIONAL SPECIES INCLUDE: ANEMONE CANADENSIS, ACHILLEA MILLEFOLIUM, PHLOX DIVARICATA	2 GAL
	32	SMALL SHRUB SPECIES TBD REPRESENTATION SPECIES: - CAREX PEN.	8" PLUGS



- HEMLOCK PLANTING NOTES**
1. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
  2. ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON PLANT LIST.
  3. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
  4. ALL PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  5. ALL PLANTS SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO SITE. CONTRACTOR TO NOTIFY THE OWNER'S REPRESENTATIVE TWO WEEKS IN ADVANCE OF TREE TAGGING TO SCHEDULE. LA CONTRACTOR TO LOCATE ALL PLANT MATERIAL. LA TO TAG AT NURSERY ALL TREES FOR PURCHASING. SHRUBS/GROUNDCOVERS TO BE APPROVED BY LA THROUGH PHOTOGRAPHS PROVIDED BY CONTRACTOR. PLANT MATERIAL DAMAGED POST TAGGING WILL BE REJECTED. PLANT MATERIAL BROUGHT TO SITE WITHOUT LA APPROVAL MAY BE REJECTED.
  6. ALL PLANTS SHALL BE HEALTHY, PEST AND DISEASE FREE, FREE OF GIRDLING ROOTS AND WELL ESTABLISHED IN THE CONTAINER.
  7. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
  8. STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING. ALL PLANT LOCATIONS SHALL BE APPROVED IN WRITING. PLANT LOCATIONS TO BE SET IN THE FIELD BY LA.
  9. PLANT MATERIAL SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. PLANT MATERIAL SHALL ALSO BE IN THE SAME SOLAR ORIENTATION AS AT NURSERY. MATERIAL SHALL BE TAGGED ON THE NORTH SIDE OF THE PLANT TO FACILITATE PROPER ORIENTATION.
  10. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. DRAWING SUPERCEDES PLANT COUNT ON SCHEDULE IF THERE ARE DISCREPANCIES.
  11. PLANTING SOIL SAMPLES TO UMASS FOR TESTING ([www.umass.edu/plsoils/soiltest](http://www.umass.edu/plsoils/soiltest)). SOILS TO BE AMENDED PER RECOMMENDATIONS.
  12. ALL DISTURBED AREAS TO BE DECOMPACTED AND SCARIFIED PRIOR TO PLACEMENT OF PLANTING SOILS, SEE GRADING NOTES.
  13. IT IS THE LA CONTRACTOR'S RESPONSIBILITY TO INFORM THE LA IN WRITING, PRIOR TO PURCHASING PLANTING MATERIAL, OF ANY CONDITIONS EXISTING ON SITE WHICH COULD BE CONSIDERED DETRIMENTAL TO THE SUCCESSFUL PLANTING AND GROWTH OF ANY OF THE MATERIAL.
  14. CONTRACTOR TO COMPLETE ALL SOIL AMENDING, FINISH GRADING AND REMOVAL OF ANY AND ALL CONSTRUCTION DEBRIS FROM THE PLANTING AREAS BEFORE THE LAYING OUT OF APPROVED PLANT MATERIAL.
  15. WATER ALL PLANTS BY HANDHELD HOSE WITH WATERING WAND ATTACHMENT IMMEDIATELY AFTER PLANTING (NO WATER 'JETTING'). NO PLANT SHALL BE OUT OF IT'S CONTAINER FOR MORE THAN TWENTY MINUTES BEFORE BEING PLANTED AND WATERED.
  16. ALL PLANT MATERIAL AND PLANT BEDS SHALL BE REMAIN IN VIGOROUS HEALTH FOR A PERIOD OF ONE YEAR AFTER LANDSCAPE ARCHITECT APPROVES SUBSTANTIAL COMPLETION. PLANT BED ADJUSTMENT AND PLANT REPLACEMENTS SHALL BE MADE, AS NECESSARY, AT THE END OF THE ONE YEAR GUARANTEE PERIOD. REPLACEMENTS SHALL BE GUARANTEED FOR AN ADDITIONAL YEAR.
  17. PERCOLATION TESTS SHALL BE PERFORMED IF DEEMED NECESSARY BY OWNER/LA OR IF WET PLANTING PITS ARE FOUND ON SITE. IF PERC TESTS FAIL, ALLOW SUBSURFACE WATER TO DRAIN OR DAYLIGHT VIA GRAVEL SUMP WITH PERF PIPE.
  18. SUBMIT SAMPLES OF MULCH FOR APPROVAL. ALL PLANTING BEDS TO RECEIVE 2" MULCH UNLESS OTHERWISE INDICATED.
  19. MULCH SHALL BE KEPT AT A MAXIMUM OF 2" DEEP NEAR THE PLANT CROWNS AND TRUNKS, AND NOT EXTEND HIGHER THAN 1/8" ONTO THE CROWN OR TRUNK OF NEWLY PLANTED TREE.

PROJECT:  
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 PLAY GARDEN  
 675 MAIN ST.  
 OSTERVILLE, MA  
 02655**

**THE TRUSTEES**

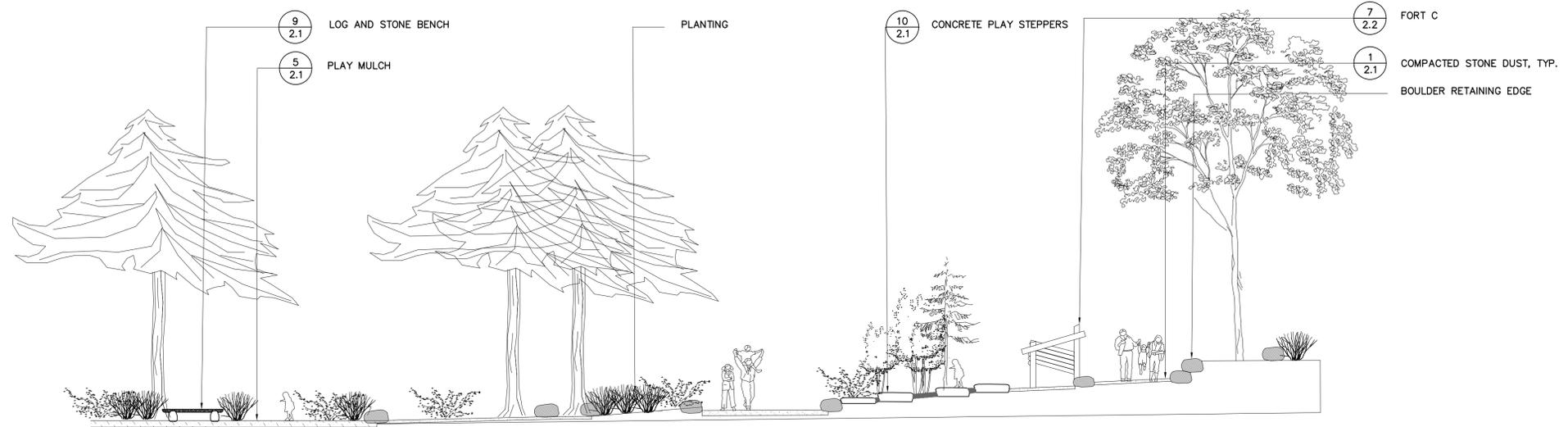
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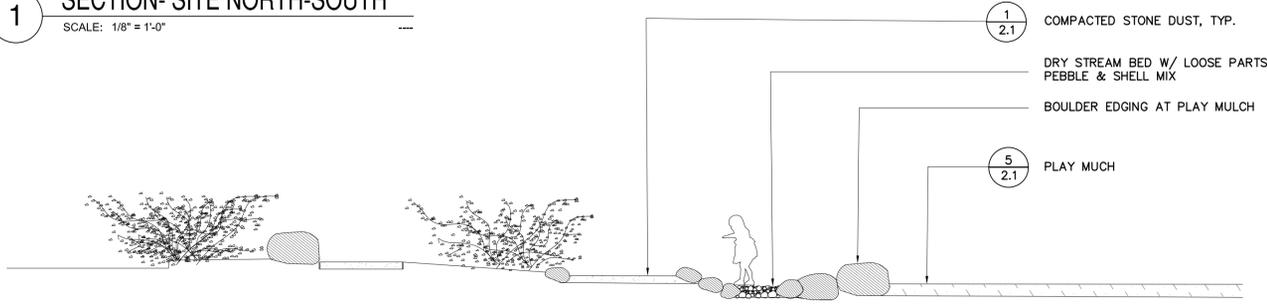


SHEET TITLE:  
**PLANTING  
 PLAN**

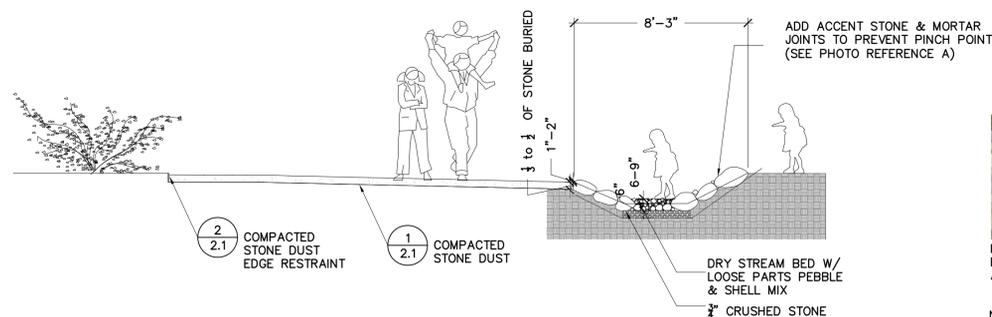
**1.3**



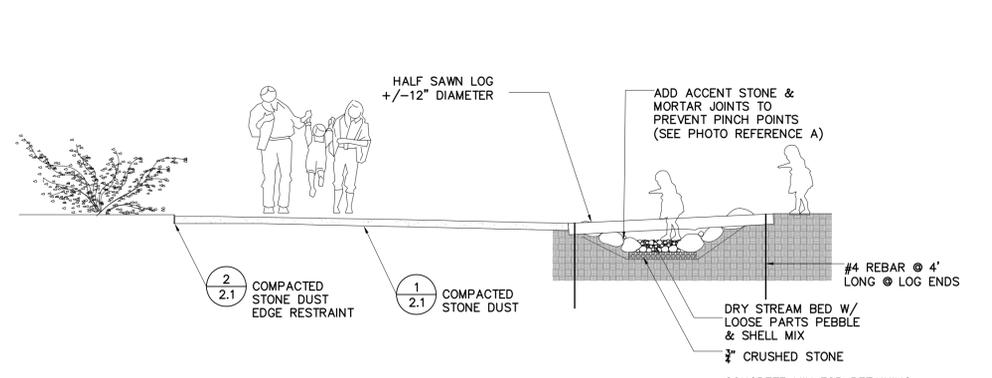
**1 SECTION- SITE NORTH-SOUTH**  
 SCALE: 1/8" = 1'-0"



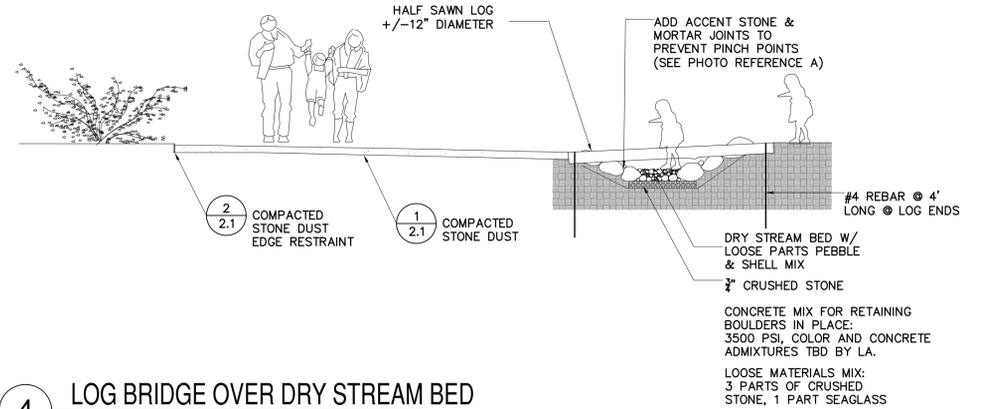
**2 SECTION- STONE DUST TO DRY STREAM BED**  
 SCALE: 1/4" = 1'-0"



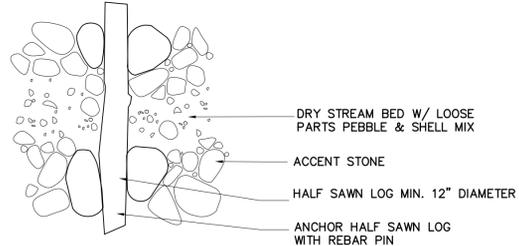
**3 DRY STREAM BED SECTION DETAIL**  
 SCALE: 1/4" = 1'-0"



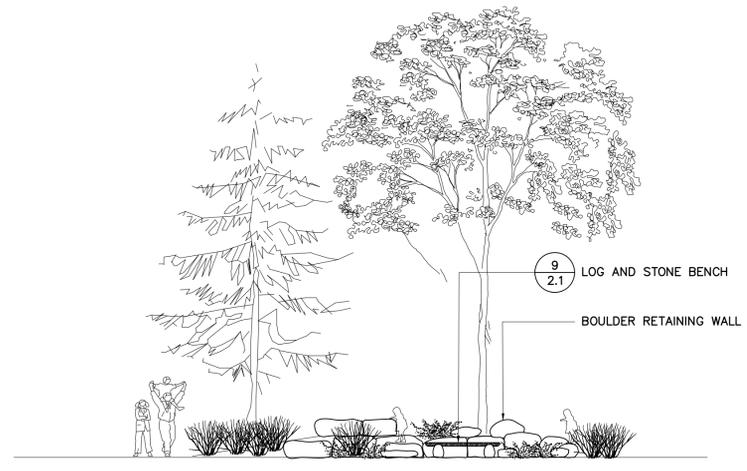
**4 LOG BRIDGE OVER DRY STREAM BED**  
 SCALE: 1/4" = 1'-0"



**5 LOG BRIDGE PLAN**  
 SCALE: 1/4" = 1'-0"



**6 LOOKOUT BOULDER ELEVATION**  
 SCALE: 1/8" = 1'-0"



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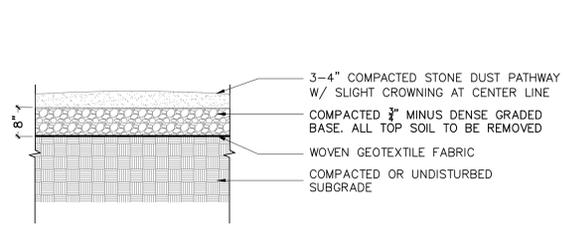
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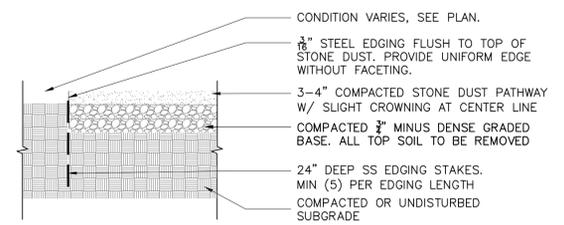
SHEET TITLE:  
**DETAILS  
 SECTION/ ELEVATIONS**

**L2.0**



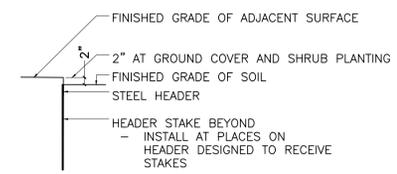
- NOTES:**
1. DEPTH OF BASE MATERIAL DEPENDENT ON FIELD CONDITIONS TO REMOVE ALL TOP SOIL.
  2. ALL COMPACTION TO BE DONE WITH VIBRATORY DRUM ROLLER W/ OPTIMUM MOISTURE PRESENT IN AGGREGATE MATERIAL.
  3. CLEAN, CONTINUOUS EDGES TO BE CREATED W/ LOAM BACK FILL.
  4. STONE DUST COLOR AND TEXTURE TO BE PROVIDED BY LA.

**1 COMPACTED STONE DUST**  
 SCALE: 1/2" = 1'-0"

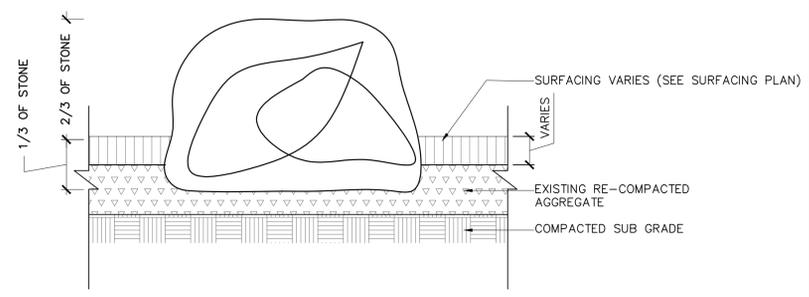


- NOTES:**
1. DEPTH OF BASE MATERIAL DEPENDENT ON FIELD CONDITIONS TO REMOVE ALL TOP SOIL.
  2. ALL COMPACTION TO BE DONE WITH VIBRATORY DRUM ROLLER W/ OPTIMUM MOISTURE PRESENT IN AGGREGATE MATERIAL.
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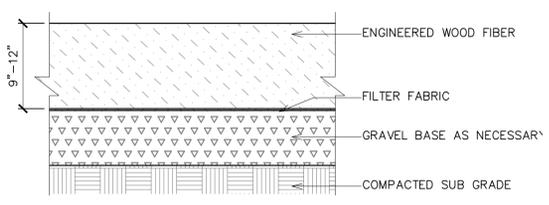
**2 COMPACTED STONE DUST EDGE RESTRAINT**  
 SCALE: 1/2" = 1'-0"



**3 STEEL EDGE AT PLANTING**  
 SCALE: 1/2" = 1'-0"

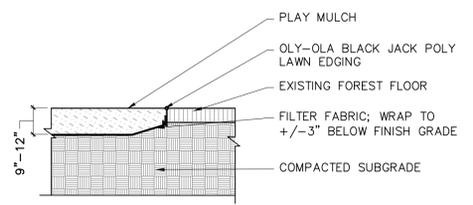


**4 BOULDER DETAIL**  
 SCALE: 1" = 1'-0"

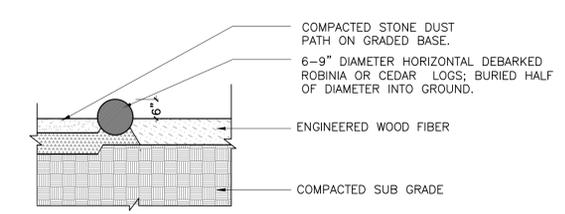


**NOTE:** GRAVEL BASE MAY BE NECESSARY BELOW PLAY MULCH FOR DRAINAGE AND/OR IMPACT ATTENUATION DEPENDING ON SUBGRADE CONDITIONS. FINAL DEPTH OF PLAY MULCH IS DEPENDANT ON CRITICAL FALL HEIGHT OF PLAY ELEMENTS, TBD.

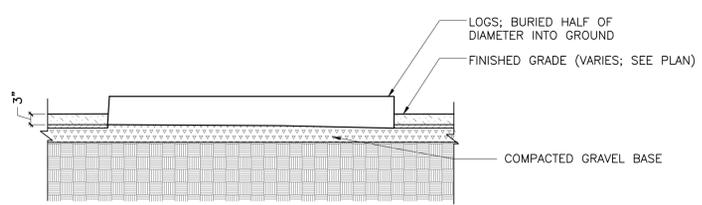
**5 PLAY MULCH**  
 SCALE: 1" = 1'-0"



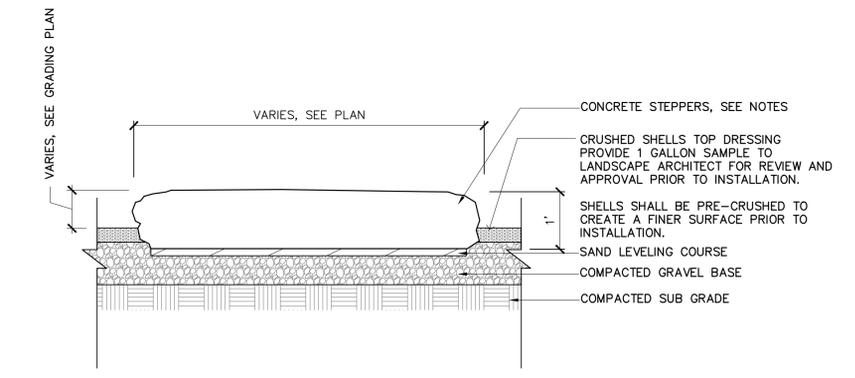
**6 PLAY MULCH MEETS EXISTING FOREST FLOOR**  
 SCALE: 1/2" = 1'-0"



**7 RUBBER EDGING AT PLAY MULCH**  
 SCALE: 1/2" = 1'-0"



**8 LAYING LOG**  
 SCALE: 1/2" = 1'-0"

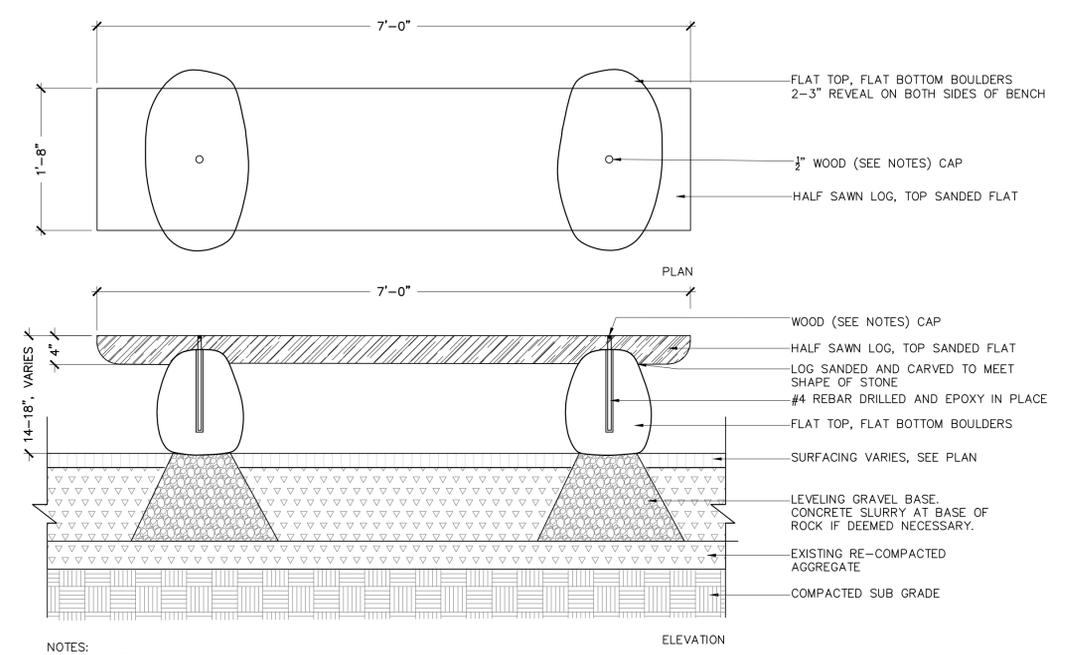


- NOTES:**
1. MIN 6" GAP TO MAX 1'-6" GAP BETWEEN STEPPERS
  2. STEPPERS CONSIST OF 3500 PSI CONCRETE MIX, COLOR TBD BY LA

**10 CONCRETE PLAY STEPPER**  
 SCALE: 1" = 1'-0"

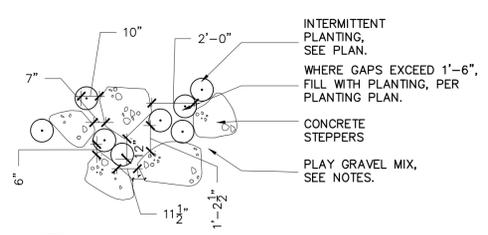


**IMAGE:** DESIRED AESTHETIC OF CONCRETE STEPPERS. IMAGE SHOWS STEPPER'S SHAPE IRREGULARITY, VARYING SPACING BETWEEN STEPPERS, AND ECLECTIC GROUND MATERIAL AND PLANTING.



- NOTES:**
1. ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
  2. ALL THROUGH BOLT CONNECTIONS MUST BE COUNTERSUNK.
  3. ALL FOOTINGS SHOWN ARE FOR PRICING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. FINAL FOOTING DESIGN AND CONSTRUCTION WILL BE THE RESPONSIBILITY OF STRUCTURAL ENGINEER AND GENERAL CONTRACTOR.

**9 LOG & STONE BENCH DETAIL**  
 SCALE: 1" = 1'-0"



- NOTES:**
1. 6" MIN GAP TO 1'-6" MAX GAP BETWEEN STEPPERS.
  2. GAPS FILLED WITH PLAY GRAVEL MIX AT 65% 1-1/2" SMALL ROCKS, 25% SMOOTH CRUSHED SHELLS AND 10% SMOOTHED BEACH GLASS. INTERMITTENT PLANTING, AS NOTED IN PLANTING PLAN.

**11 CONCRETE PLAY STEPPER PLAN**  
 SCALE: 1/4" = 1'-0"

**PROJECT:**  
 ARMSTRONG-KELLEY PARK  
 PLAY GARDEN  
 675 MAIN ST.  
 OSTERVILLE, MA  
 02655

**THE TRUSTEES**

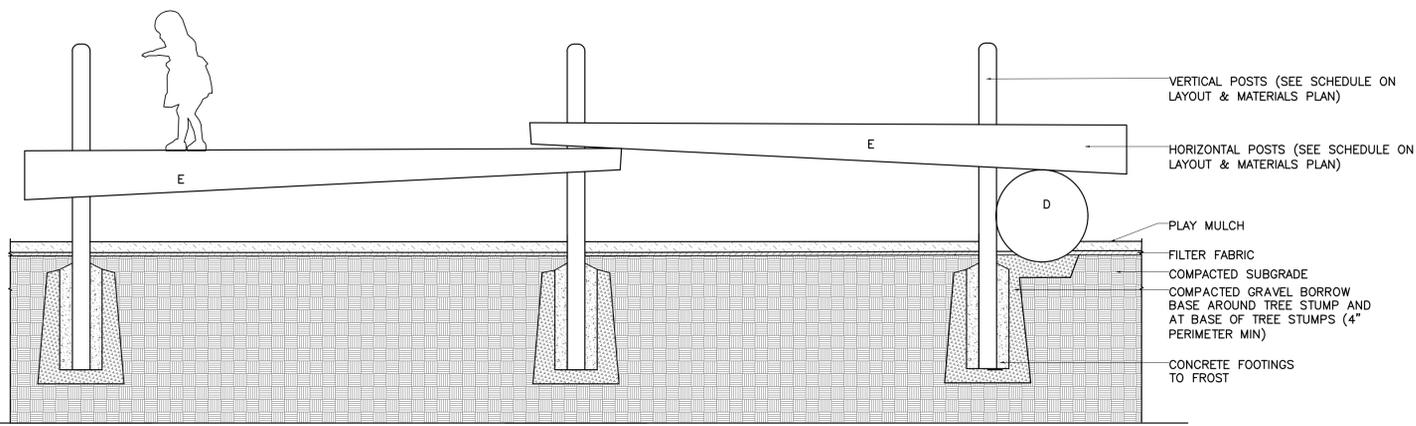
MARK	DATE	DESCRIPTION
	04/13/2023	PRICING SET

Lu-La PROJ. #: 2202AK\_TR  
 FILE NAME: ARMSTRONG KELLEY PLAY GARDEN  
 DRAWN BY: KS, SB  
 CHECKED BY: KS, SB  
 © 2023 COPYRIGHT Lu-La STUDIO

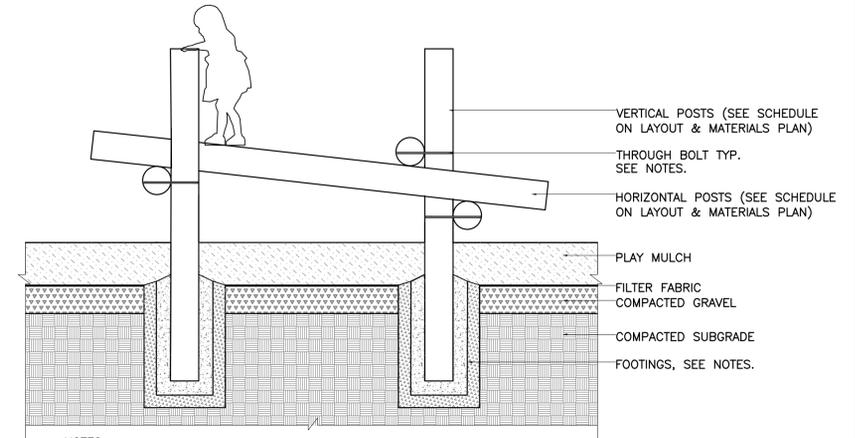


**SHEET TITLE:**  
 DETAILS  
 SURFACING &  
 SITE FURNISHING

**2.1**



- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
  - ALL THROUGH BOLT CONNECTIONS MUST BE COUNTERSUNK.
  - ALL FOOTINGS SHOWN ARE FOR PRICING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. FINAL FOOTING DESIGN AND CONSTRUCTION WILL BE THE RESPONSIBILITY OF STRUCTURAL ENGINEER AND GENERAL CONTRACTOR.



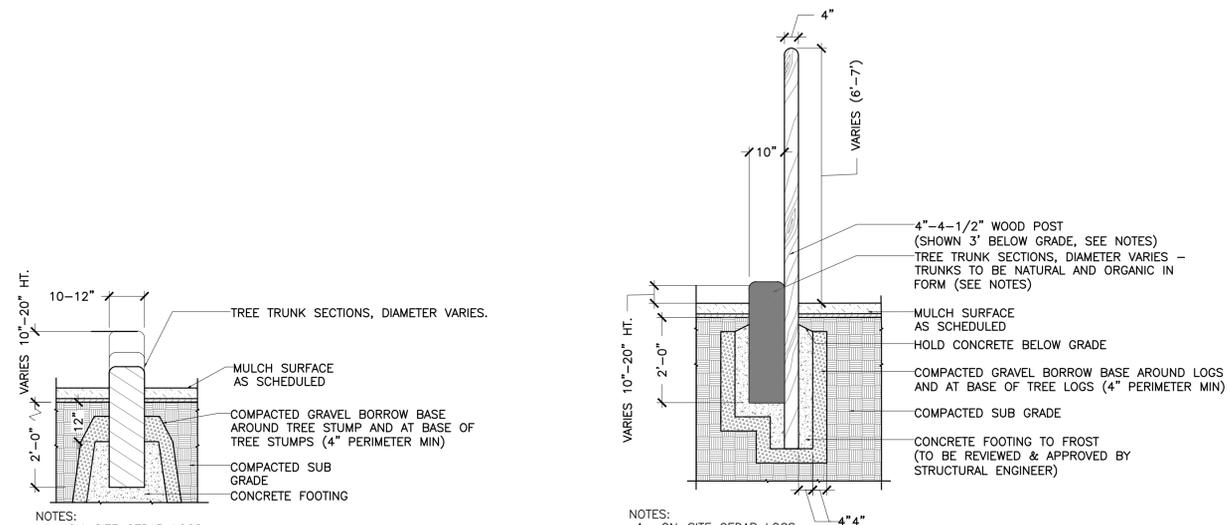
- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
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### 1 SPLIT LOG BRIDGE WITH STRUCTURAL POSTS

SCALE: 1/2" = 1'-0"

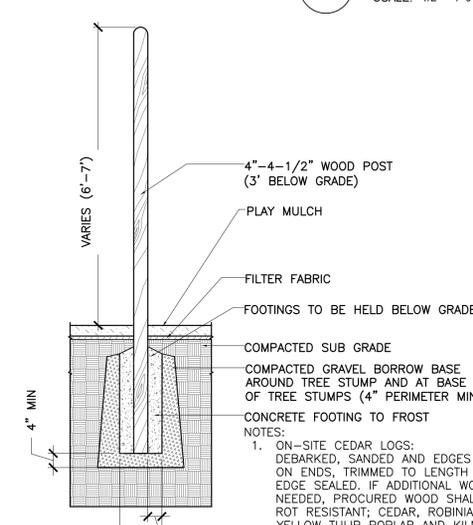
### 2 LOG CLIMBER

SCALE: 1/2" = 1'-0"

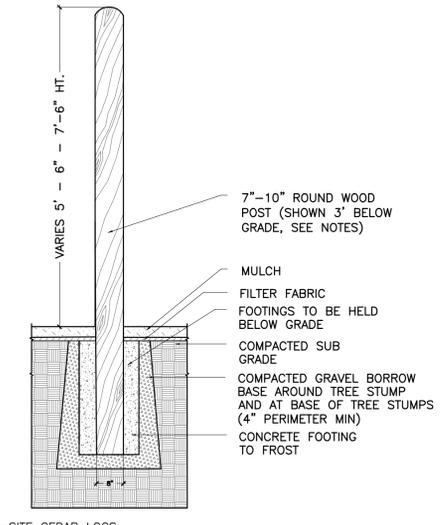


- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
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- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
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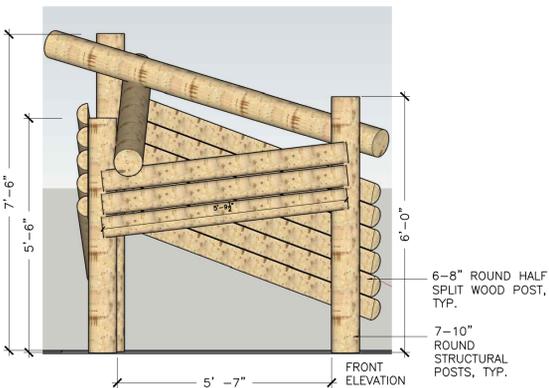
- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
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- NOTES:
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### 3 LOG STEPPERS

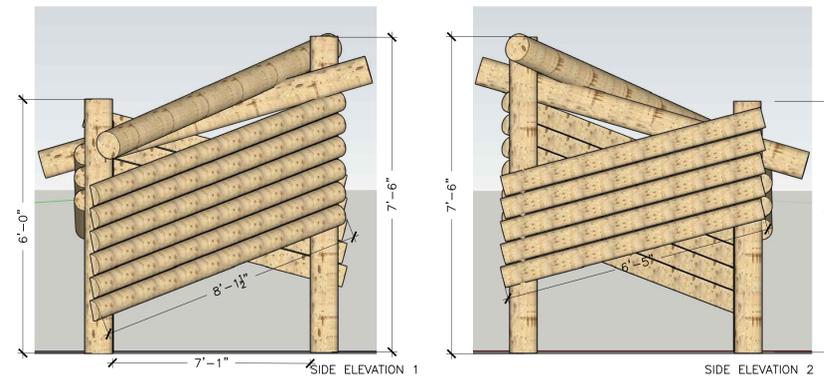
SCALE: 1/2" = 1'-0"



- NOTES:
- ON-SITE CEDAR LOGS: DEBARKED, SANDED AND EDGES BEVELED ON ENDS, TRIMMED TO LENGTH AND EDGE SEALED. IF ADDITIONAL WOOD NEEDED, PROCURED WOOD SHALL BE ROT RESISTANT; CEDAR, ROBINIA OR YELLOW TULIP POPLAR AND KILN DRIED AND PREPARED AS ABOVE.
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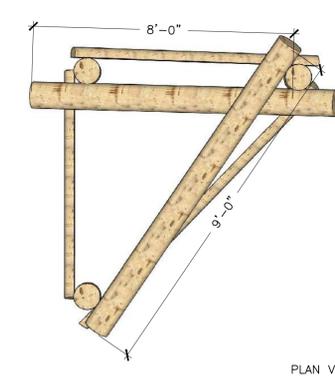
### 4 ADJACENT LOG STEPPER & POST

SCALE: 1/2" = 1'-0"



### 5 POST

SCALE: 1/2" = 1'-0"



### 6 PLAY FORT STRUCTURAL POST

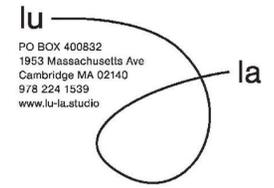
SCALE: 1/2" = 1'-0"



IMAGE: DESIRED AESTHETIC OF THE IRREGULARITY OF WOOD POSTS

### 7 PLAY FORT

SCALE: 1/2" = 1'-0"



PO BOX 400832  
1953 Massachusetts Ave  
Cambridge MA 02140  
978 224 1539  
www.lu-la.studio

PROJECT:  
**ARMSTRONG-KELLEY PARK  
PLAY GARDEN**  
675 MAIN ST.  
OSTERVILLE, MA  
02655

THE TRUSTEES

MARK	DATE	DESCRIPTION
	04/13/2023	PRICING SET

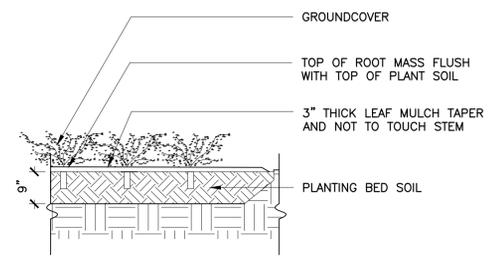
Lu-La PROJ. #: 2202AK\_TR  
FILE NAME: ARMSTRONG KELLEY PLAY GARDEN  
DRAWN BY: KS, SB  
CHECKED BY: KS, SB  
© 2023 COPYRIGHT LU-LA STUDIO



SHEET TITLE:  
**DETAILS  
PLAY ELEMENTS**

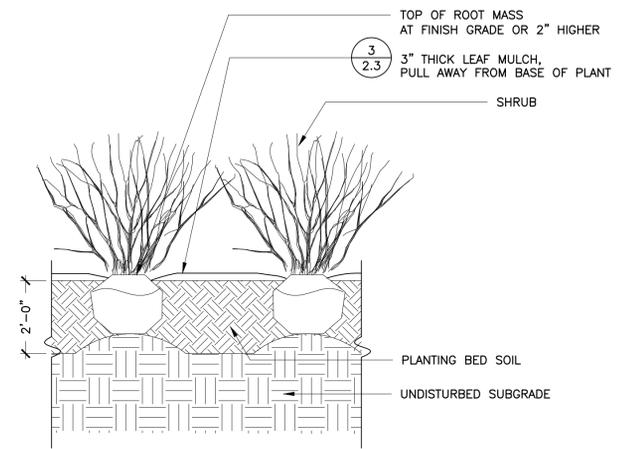
**2.2**

SHEET 7 OF 8

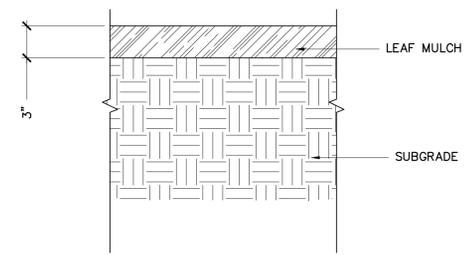


NOTE:  
 GROUNDCOVER PLANTING TO BE WEED FREE. ANY NOTICEABLE BROADLEAF WEEDS TO BE REMOVED IMMEDIATELY FROM PLANTS.

**1** GROUNDCOVER DETAIL  
 SCALE: 1/2" = 1'-0"



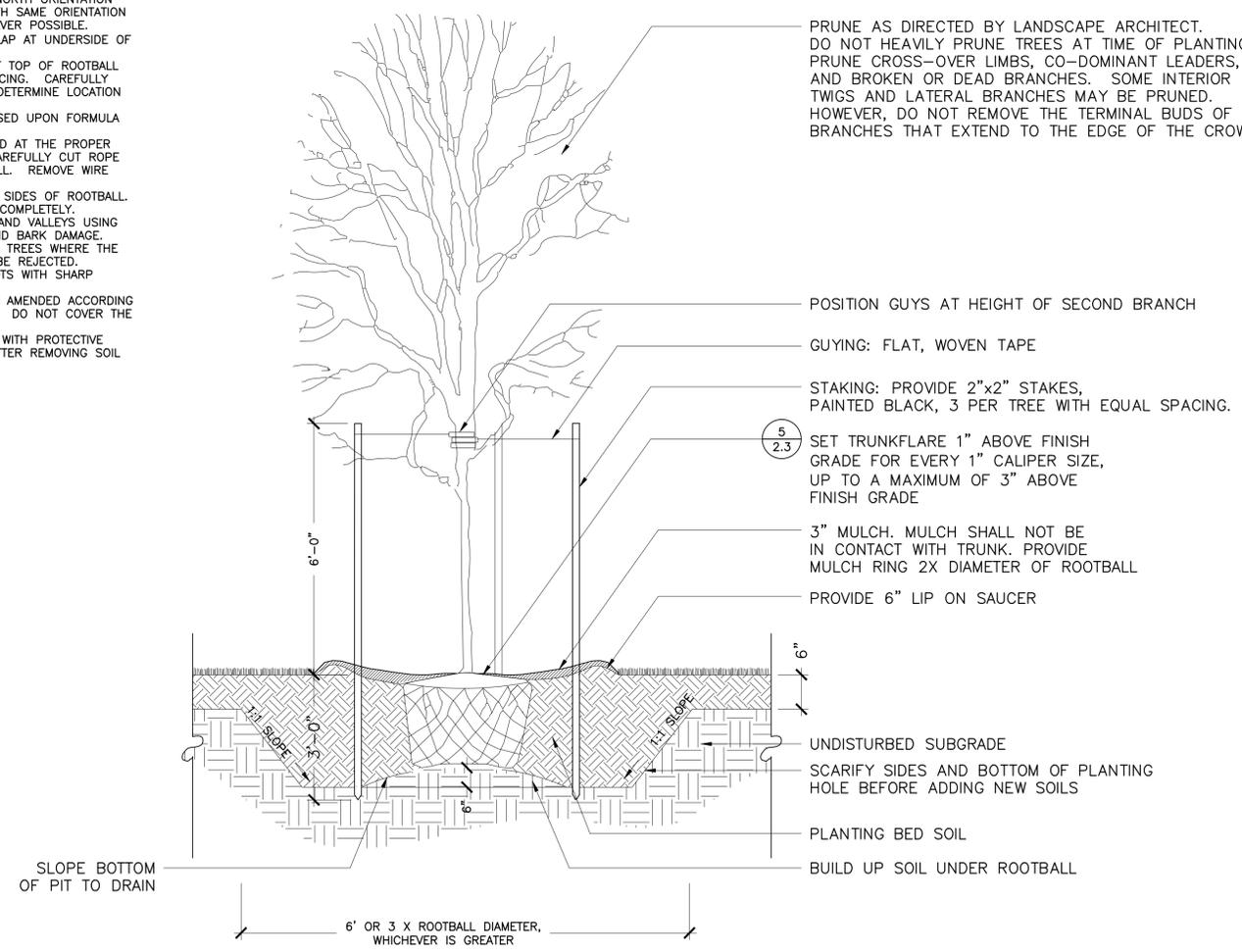
**2** SHRUB DETAIL  
 SCALE: 1/2" = 1'-0"



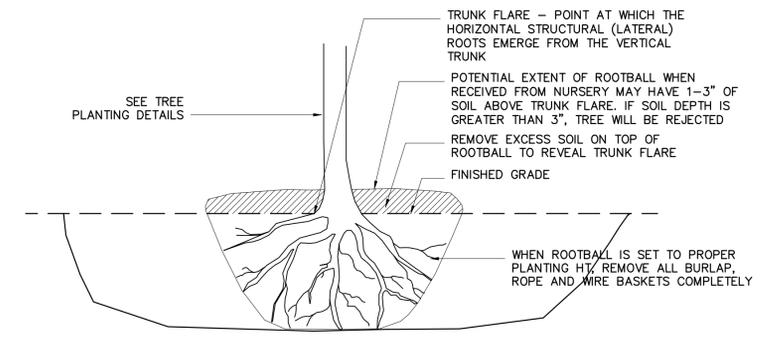
**3** LEAF MULCH DETAIL  
 SCALE: 1 1/2" = 1'-0"

NOTES:

1. REVIEW PROPER TREE-PLANTING TECHNIQUES WITH L.A. PRIOR TO PLANTING.
2. IF TREE HAS BEEN MARKED WITH NORTH ORIENTATION PRIOR TO DIGGING, POSITION TREE WITH SAME ORIENTATION IN TRANSPLANTED LOCATION, WHERE-EVER POSSIBLE.
3. CUT FOUR-3" LONG SLITS IN BURLAP AT UNDERSIDE OF ROOTBALL.
4. CUT SEVERAL HOLES IN BURLAP AT TOP OF ROOTBALL WITHOUT REMOVING WIRE OR ROPE LACING. CAREFULLY REMOVE SOIL AND PROBE HOLES TO DETERMINE LOCATION OF ROOTFLARES AND VALLEYS.
5. PREPARE PROPER DEPTH HOLE BASED UPON FORMULA NOTED.
6. ONCE ROOTBALL HAS BEEN LOCATED AT THE PROPER DEPTH WITHIN THE PLANTING HOLE, CAREFULLY CUT ROPE OR WIRE BASKET AWAY FROM ROOTBALL. REMOVE WIRE BASKETS COMPLETELY.
7. CUT AWAY BURLAP FROM TOP AND SIDES OF ROOTBALL. REMOVE NON-BIODEGRADABLE WRAP COMPLETELY.
8. CAREFULLY EXPOSE TRUNK FLARE AND VALLEYS USING WHISK BROOM OR HAND TOOLS. AVOID BARK DAMAGE. ASSURE BALL IS AT PROPER HEIGHT. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
9. PRUNE DAMAGED OR GIRDLING ROOTS WITH SHARP PRUNERS.
10. BACKFILL WITH PLANTING MEDIUM AMENDED ACCORDING TO CHEMICAL ANALYSIS AS SPECIFIED. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.
11. WRAP LOWER PORTION OF TRUNK WITH PROTECTIVE PLASTIC MESH TO AVOID SUNSCALD AFTER REMOVING SOIL FROM TRUNK FLARES/ VALLEYS.



**4** UNDERSTORY TREE DETAIL  
 SCALE: 1/2" = 1'-0"



NOTE:  
 FOR ROOTBALLS PLACED ON UNDISTURBED SUBGRADE, SET EXPOSED TRUNK FLARE AT FINISHED GRADE  
 FOR ROOTBALLS PLACED ON NEW OR DISTURBED SOILS, SET EXPOSED TRUNK FLARE 1" ABOVE FINISHED GRADE FOR EVERY CALIPER INCH TO ALLOW FOR SETTLEMENT

**5** TRUNK FLARE DETAIL  
 SCALE: 1" = 1'-0"

PROJECT:  
 ARMSTRONG-KELLEY PARK  
 PLAY GARDEN  
 675 MAIN ST.  
 OSTERVILLE, MA  
 02655

THE TRUSTEES

MARK	DATE	DESCRIPTION
	04/13/2023	PRICING SET

Lu-La PROJ. #: 2202AK\_TR  
 FILE NAME: ARMSTRONG KELLEY PLAY GARDEN  
 DRAWN BY: KS, SB  
 CHECKED BY: KS, SB  
 © 2023 COPYRIGHT Lu-La STUDIO



SHEET TITLE:  
 DETAILS  
 PLANTING

2.3

BUDGET ESTIMATES	ESTIMATE	NOTES
<b>CHILDREN'S PLAY GARDEN</b>	<b>\$150,000</b>	
Interpretive Signage	\$ 2,000	
Remove/ stockpile duff and debris	\$ 1,200	
Remove accumulated debris in area	\$ 3,500	
Sub-grade area	\$ 2,000	Assumes Air Spade labor
ADA Pathway Installation	\$ 28,000	2,200 SF
Log benches	\$ 8,000	Assumes park removal/ some fabrication
15 large B an B shrubs	\$ 3,500	
147 24" shrubs	\$ 8,000	
11 understory trees	\$ 4,000	
Planting labor	\$ 7,500	
Plant material trucking	\$ 2,000	
Loam edges	\$ 1,500	
Mulch and soils	\$ 3,500	
Irrigation	\$ 5,000	
Leaf/ duff import	\$ 3,000	
Labor/ equipment to spread import duff	\$ 2,500	
<b>CHILDREN'S GARDEN, THE LOGS</b>		
Prep area, THE LOGS	\$ 2,500	Remove duff and 6-8" soil
30-40 10' Cedar logs from on-site/ off site	\$ 13,000	Assumes Trustees provides cedar
Fabricate and install	\$ 7,600	90 hours at \$85
Playground mulch	\$ 5,100	60 yards at \$85/ delivered
Playground mulch Install	\$ 4,000	
<b>CHILDREN'S GARDEN, THE VILLAGE</b>		
Equipment time (auger/ thumb)	\$ 2,500	day with mini and track skid
Labor	\$ 2,000	20 hours at \$85 to build elements
Loose material	\$ 2,500	Collection of branches/ cut to length
Duff mulch	\$ 1,000	Spread with track skid and rake
<b>CHILDREN'S GARDEN, THE WOODS</b>		
Stone material- large	\$ 3,500	1 load with sorting in yard
Stone material- river stone	\$ 3,500	Palletized material
Mini	\$ 4,000	2-days with operator
Labor	\$ 2,000	2-laborers for a day
<b>CHILDREN'S GARDEN, THE LOOKOUT</b>		
Boulders	\$ 3,000	2-loads with sorting in yard
Equipment	\$ 4,500	2-days with mini and track skid
Labor	\$ 2,600	3-days labor
Dense grade	\$ 1,500	
<b>CONTINGENCY (15%)</b>	<b>\$20,000</b>	
<b>TOTALS</b>	<b>\$170,000</b>	



**PREFERRED MECHANICAL SERVICES, INC.**

*Heating – Ventilation – Air Conditioning – Refrigeration  
223 Center St. Pembroke, Massachusetts  
(781) 293-1200 (800) 447-9991*

---

**Date: August 2, 2022**

**To: Ms. Lucy Loomis**

**From: Christopher Cason**

**Re: Archives Room Liebert System Replacement**

---

Dear Miss Loomis,

Preferred Mechanical Services is happy to provide this proposal for the following Liebert Split System replacement at Sturgis Library. We are pleased to present this proposal in accordance with the following scope:

**Scope of Work:**

- Remove and dispose of existing Liebert system. Includes refrigerant recovery and disposal.
- Furnish and install new Liebert split system. Includes equipment, condensate pump, and refrigerant trim charge.
- Perform start up on system.

<b>Labor.....</b>	<b>\$5,280.00</b>
<b>Equipment.....</b>	<b>\$25,650.00</b>
<b>Materials.....</b>	<b>\$2,274.00</b>
<b>Total.....</b>	<b>\$33,204.00</b>

**Thirty-Three Thousand Two Hundred Four Dollars**

**Clarifications, Assumptions and Exclusions:**

- All work to be completed during business hours Monday through Friday 8 AM to 4 PM.
- Massachusetts state sales tax is EXCLUDED in this proposal. Local permitting fees are INCLUDED in this proposal.
- Repairs to any existing ductwork, piping, or line voltage electrical services above scope of work is excluded from this proposal.
- Current lead time on equipment from the factory is 48 weeks.

Sincerely,

Christopher Cason

\_\_\_\_\_  
Acceptance Signature

\_\_\_\_\_  
Date

Chris Cason <[chris.cason@preferredmechanicalservices.com](mailto:chris.cason@preferredmechanicalservices.com)>

9/14/2022 3:02 PM

## RE: Sturgis Library Archives System Replacement

To Lucy Loomis <[bookdance@comcast.net](mailto:bookdance@comcast.net)> Copy [spencer.daniel@preferredmechanicalservices.com](mailto:spencer.daniel@preferredmechanicalservices.com)

Good afternoon Lucy.

Please see the attached data sheets for the Liebert system replacement that we proposed (DME020E-PHN and PFH027ALPLN). This system is the closest thing to a direct replacement of the system you currently possess. Please feel free to reach out with any other questions you may have.

Thanks and have a great day!

Christopher M. Cason, MBA, LEED AP  
Preferred Mechanical Services, Inc.  
Office: (781) 293-1200  
Cell: (781) 563-0085  
[chris.cason@prefmech.com](mailto:chris.cason@prefmech.com)

**From:** Lucy Loomis <[bookdance@comcast.net](mailto:bookdance@comcast.net)>  
**Sent:** Friday, September 9, 2022 3:00 PM  
**To:** Chris Cason <[chris.cason@preferredmechanicalservices.com](mailto:chris.cason@preferredmechanicalservices.com)>  
**Cc:** [spencer.daniel@preferredmechanicalservices.com](mailto:spencer.daniel@preferredmechanicalservices.com)  
**Subject:** Re: Sturgis Library Archives System Replacement

Hi Chris:

Could you give me the info about the Liebert unit specs and #? Our granting agency is making us get two more estimates and I want to make sure we're comparing apples to apples. Then it has to get Town Council approval. So I haven't forgotten you, and realize the delay might change the estimate. But my preference will be to have you guys do the work because you know our systems so well.

Thanks for your patience, and for the detailed info on the replacement system.

**Lucy Loomis, Director**  
Sturgis Library, Barnstable Village  
*An independent nonprofit library*  
[www.sturgislibrary.org](http://www.sturgislibrary.org)  
508-362-8448  
**[Support Sturgis Library](#)**

On 08/02/2022 8:31 AM Chris Cason <[chris.cason@preferredmechanicalservices.com](mailto:chris.cason@preferredmechanicalservices.com)> wrote:

Good morning Lucy.

I hope all is well. Please see the attached estimate to replace the Liebert split system in your archives room. The current lead time on the equipment is 48 weeks. Feel free to reach out with any questions.

Thanks.

Christopher M. Cason, MBA, LEED AP

Preferred Mechanical Services, Inc.

Office: (781) 293-1200

Cell: (781) 563-0085

[chris.cason@prefmech.com](mailto:chris.cason@prefmech.com)

- 
- [liebert-datamate-1.5-3-tons-technical-data-manual\\_00.pdf \(2 MB\)](#)
  - [liebert-prop-fan-condensing-unit-user-manual.pdf \(2 MB\)](#)



South Shore Heating & Cooling  
 57 White's Path  
 South Yarmouth, MA 02664  
 508-398-6901

**BILL TO**  
 Sturgis Public Library  
 3090 Route 6A  
 Barnstable, MA 02668 USA

<b>ESTIMATE</b> 113238622	<b>ESTIMATE DATE</b> Sep 21, 2022
------------------------------	--------------------------------------

**JOB ADDRESS**  
 Sturgis Public Library  
 3090 Route 6A  
 Barnstable, MA 02668 USA

**Job:** 112606683  
**Technician:** William Holland

**ESTIMATE DETAILS**

remove and replace system in archive room: We will remove the old Emerson system and install a new Liebert Data mate system. The replacement unit is 48 weeks back ordered so we will need to revisit any price changes if we move forward with proposal. We will install a DME020E-PHN Liebert evaporator paired with a PFH020ACPLN condensing unit. Unit will be charged with 407c refrigerant. We will need to coordinate the alarm system shutdown during install.

TASK	DESCRIPTION	QTY	PRICE	TOTAL
1	<p>Condenser and Air Handler Installation:            We are pleased to submit the following quotation for your consideration.            Installation of a NAME OF UNIT HERE Condenser            Installation of NAME OF UNIT HERE Air Handler</p> <p>Installation to include:</p> <ul style="list-style-type: none"> <li>• Pump down and recycle refrigerant</li> <li>• Remove Condenser &amp; Air Handler</li> <li>• Re-connect Air Handler to supply and return plenum and seal as necessary</li> <li>• Place Condenser on existing pad</li> <li>• All required refrigerant piping connections</li> <li>• Flush Line set</li> <li>• Evacuate and charge system with R-410-A refrigerant</li> <li>• Electrical connection to existing electrical circuit</li> <li>• Obtain all necessary permits and coordinate inspection</li> <li>• Unit carries one year Membership</li> <li>• Unit carries manufacturer's ENTER WARRANTY YEAR HERE year warranty.</li> <li>• GUARANTEE: All material &amp; labor guaranteed for a period of one year from date of installation</li> <li>• Payment 50% deposit due upon acceptance and signature of</li> </ul>	1.00	\$34,770.30	\$34,770.30

proposal. Balance due upon completion of installation.

- Prices subject to change after 10 days

---

2	Trade Permits: Trade Permits	1.00	\$200.00	\$200.00
---	---------------------------------	------	----------	----------

---

			<b>SUB-TOTAL</b>	\$34,970.30
			<b>TOTAL</b>	\$34,970.30

Thank you for choosing South Shore Heating & Cooling.

**CUSTOMER AUTHORIZATION**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to the work specified. Deposit of 50% due upon signature of estimate. Remaining balance due upon completion.

All materials specified will be guaranteed. All work to be completed in professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon force majeure. All work is fully covered by workman's compensation insurance.

Price is subject to change after 10 days

Sign here

Date



# COTUIT FEDERATED CHURCH

---

40 School Street • Post Office Box 436 • Cotuit, MA 02635

April 24, 2023

Dear Barnstable Community Preservation Committee Members:

Thank you for allowing us additional time for conversation regarding our Community Preservation Act Grant, which was unanimously approved by this committee on February 28, 2022, and unanimously approved by the Barnstable Town Council on May 5, 2022. In a separate e-mail, you will receive an extensive timeline of our presentations and discussions regarding the historic preservation grant for this project, which began in the summer of 2021. As you review the timeline, you will note that we responded and enacted guidance and recommendations from both you and the Barnstable Historic Commission Committee. You will learn we modified our project plan, timeline and budget to accommodate the direction set forth by both Committees.

The possibility of not receiving this grant, after budgeting for it as part of our fundraising plan, has a significant impact due to rapidly rising interest rates. We secured a bank loan as a safety net and did not anticipate having to use it — a bank loan that now has a fixed rate of 8.5%. This means that if we drew from the loan the \$179,000 lost from the CPA grant money, assuming that we would pay that debt back over the next twenty years, **our interest on the loan would be \$193,816**. This means that a denial at this point in our budgeting process would cost us more than the value of the already unanimously approved grant amount and **forces us now to raise an additional unanticipated \$372,816**.

We would like to explore all possibilities for the release of these funds. Michael Steinitz of the Massachusetts Historical Commissions has recommended holding a local restrictions document. In conversation we had last week with Jessica Rapp Grassetti, our Town Representative, we learned that there is an undesignated portion of the Community Preservation money. Might we receive the amount of our grant from undesignated rather than historical funds? What other options might there be for us to explore?

In addition, we would also like to request that the funds designated for our grant be held for us until this is resolved and they can be released to us.

Thank you for your consideration, and we look forward to meeting with you on Monday.

Respectfully,

A handwritten signature in black ink that reads "Angela Menke Ballou". The signature is written in a cursive style with a large initial 'A'.

Pastor Angela Menke Ballou

cc: Town Councilor Jessica Rapp Grassetti

Town Council President Matthew Levesque