



Town of Barnstable
Department of Public Works
Administration & Technical Support Division
800 Pitcher's Way, Hyannis, MA 02601
www.town.barnstable.ma.us



Rebecca Nickerson 508.790.6316
Mark Marinaccio 508.790.6323
NancyLee Cormier 508.790.6320

John W. Juros, AIA
Owner's Project Manager
Voice 508.790.6324
Fax 508.790.6344

TRANSMITTAL

Date: August 24, 2011

To: Alisha Parker Stanley
367 Main Street
Hyannis, Ma 02601

From: John Juros, AIA
Town of Barnstable, DPW
Administration & Technical Support Division
800 Pitcher's Way
Hyannis, MA 02601

Re: CPC Submission Forms (Copy)



Please find attached:

1. CPC project submission form and attached drawings for Old Selectmen's Building
- 2.
3. CPC project submission form and attached drawings for Trayser Museum
- 4.
5. CPC project submission form for JFK Museum Portico.





The Town of Barnstable Community Preservation Committee

367 Main Street, Hyannis, MA 02601

Office: 508-862-4675
Fax: 508-790-4782



Lindsey Counsell, Chair
Laura Shufelt, Vice Chair
Marilyn Fifield, Clerk

Theresa M. Santos, Administrative Assistant
Alisha P. Stanley, Project Coordinator

Project Submission Form

Use of CPA funds requires a deed restriction (conservation / historic / housing / recreation). Sample restrictions are available at www.town.barnstable.ma.us/growthmanagement/PropertyManagement/CommunityPreservation. Please review them carefully as each applicant must agree with the contents of their respective restriction. Applicants must provide the first draft of the restriction and submit it to the CPC.

Submission Date: August 24, 2011

Project Title: JFK Museum, 397 Main Street

Project Map / Parcel: 326 / 138

Estimated Start Date: April 2012

Estimated Completion Date: October 2012

Purpose (please select all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Open Space | <input checked="" type="checkbox"/> Public |
| <input type="checkbox"/> Community Housing | <input type="checkbox"/> Private |
| <input checked="" type="checkbox"/> Historic | <input type="checkbox"/> Non-Profit |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Partnership (Describe below #3) |
| <input checked="" type="checkbox"/> Town Affiliation (If any, applications must be submitted to Town Manager) | |

RECEIVED
NOV 22 2011
AIP to JMO
Community Preservation Committee

Project Coordinator Contact Information:

Name: John Juros, AIA, Owner's Project Manager, Town of Barnstable, Department of Public Works, Administration & Technical Support Division

Organization (if applicable): Town of Barnstable, Department of Public Works

Address: 800 Pitcher's Way, Hyannis, MA

Mailing Address:

Daytime Phone : 508-790-6320

E-mail address: john.juros@town.barnstable.ma.us

Primary Contact (if different from applicant contact)

Name: _____

Address: _____

Mailing Address: _____

Daytime Phone #: _____

E-mail address: _____

Budget Summary:

Total budget for project: \$ 107,800.00

CPA funding request: \$ 107,800.00

Matching funds (committee / under consideration): \$0.00

Please address the following questions:

1. Project summary (description and goals):

Portico restoration, including selective masonry, window trim work, and electric work

2. How does this project help preserve Barnstable's character?

A long term investment in the Town's infrastructure providing necessary repairs to the building in order to maintain the working usefulness of the structure and the personnel and visitors utilizing this necessary facility.

3. Partnership(s) Description:

N/A

4. Provide a detailed project timeline:

Funding & Design – September 2011 to February 2012, Bid – February to April 2012, Construction – April to October 2012

5. How does this project meet the General Criteria and Category Specific Criteria for CPC projects?

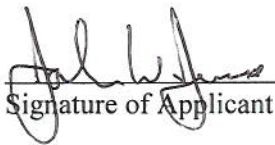
By replacing and or restoring worn out building fabric to preserve not only the building but also portions of historic Barnstable

6. Provide a detailed budget, including the following information, as applicable: (Fiscal Year, Total Cost, CPC Funds Requested, Other Sources of Funding sought and received, and cost estimates / quotes received):

Budget breakdown is attached to this submission.

7. Assessors office identification map, map and parcel number:

326 / 138


Signature of Applicant

8/24/11
Date

Additional information may be provided as well as requested.



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Community Preservation Committee

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Several weeks ago, at your request, I visited the JFK portico to inspect it for possible improvements. My findings are as follows:

The structure of the portico, without detailed hands-on inspection after removal of paint, appears to be relatively sound. The columns are slightly out of plumb. It may be possible to straighten them. The columns, ceiling and fascia are heavily painted, probably with lead paint, and are peeling. The lead paint should be fully removed per MGL, putty holes, caulk, prime and paint with 2 additional coats of good exterior paint. The roof appears to be leaking so its flashing and roofing material should be replaced.

The TOB seal should be stripped of paint and its details and letters repainted in appropriate colors. The dark lettering should also be stripped and repainted.

The brick surround at the steps should be removed and reinstalled as there are numerous joint crack lines.

The copper downspout should be replaced with new red copper material and tied to a drain system.

The two site lawn lighting fixtures are broken and should be removed and replaced with vandal proof fixtures. The flag light should be replaced with a lawn fixture and remove the flood light from above the portico. The old hanging light fixture should be restored.

A number of steel lintels are fully rusted and are failing. These need to be fully replaced with galvanized steel lintels and the brick masonry about them replaced. All window trim should be caulked.

The door and frame should be stripped and repainted and new period hinges, hardware, locks, door closer, brass kick plates and weather stripping installed.

Estimated costs:

Removal of lead paint, caulk, prime and 2 coats of finish paint:	\$ 28,000
Painting of signs:	2,200
Removal and replacement of brick steps:	8,500
Copper downspout and drain replacement:	3,500
Hanging lighting fixture restoration:	1,200
Replace 2 broken site lawn fixtures and the flag light:	5,500
Rework door, frame and hardware:	8,500
Roofing repair of slate and mortar joints & flashing	6,400
Selective window masonry lintel replacements	30,000
PM & Contingency:	14,000
Total:	\$ 107,800



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Project Submission Form

Use of CPA funds requires a deed restriction (conservation / historic / housing / recreation). Sample restrictions are available at www.town.barnstable.ma.us/growthmanagement/PropertyManagement/CommunityPreservation. Please review them carefully as each applicant must agree with the contents of their respective restriction. Applicants must provide the first draft of the restriction and submit it to the CPC.

Submission Date: August 24, 2011

Project Title: Old Selectmen's Building Restoration Project

Project Map / Parcel: 155 / 003

Estimated Start Date: April 2012

Estimated Completion Date: October 2012

Purpose (please select all that apply):

- Open Space
 - Community Housing
 - Historic
 - Recreation
 - Town Affiliation (If any, applications must be submitted to Town Manager)
- Public
 - Private
 - Non-Profit
 - Partnership (Describe below #3)

RECEIVED
NOV 22 2011
AIP
TO TMO
Community Preservation Committee

Project Coordinator Contact Information:

Name: John Juros, AIA, Owner's Project Manager, Town of Barnstable, Department of Public Works, Administration & Technical Support Division

Organization (if applicable): Town of Barnstable, Department of Public Works

Address: 800 Pitcher's Way, Hyannis, MA

Mailing Address:

Daytime Phone : 508-790-6320

E-mail address: john.juros@town.barnstable.ma.us

Primary Contact (if different from applicant contact)

Name: _____

Address: _____

Mailing Address: _____

Daytime Phone #: _____

E-mail address: _____

Budget Summary:

Total budget for project: \$ 145,093

CPA funding request: \$ 85,278

Matching funds (committee / under consideration): Gift Fund: \$ 59,815

Please address the following questions:

1. *Project summary (description and goals):* The initial Phase I work will include:

1. Building a new foundation beneath the existing wood framed building, requiring the building to be lifted and then set down upon new concrete interior piers and brick faced foundation wall to match the existing look of the historic building;
2. Disconnection of building utility systems including electrical, phone, water and sewer lines to allow for the raising of the building;
3. Reconnection of all site utilities underground into the building including phone and electrical service, as well as reconnection of water and sewer lines;
4. (The toilet room would be listed as a non-public facility at this time;)
5. Incorporating an entry site ramp and brick walk into the building for ADA access; site grading to deal with site drainage incorporating drywells for the downspouts, and paved ADA parking adjacent to the building as required.

2. *How does this project help preserve Barnstable's character?*

A long term investment in the Town's infrastructure providing necessary repairs to the building in order to maintain the working usefulness of the structure and the personnel and visitors utilizing this necessary facility. _____

3. *Partnership(s) Description:*

N/A

4. *Provide a detailed project timeline:*

Funding – September 2011 to February 2012, Bid – February to April 2012, Construction – April to October 2012


5. *How does this project meet the General Criteria and Category Specific Criteria for CPC projects?*

By replacing and or restoring worn out building fabric to preserve not only the building but also portions of historic Barnstable

6. *Provide a detailed budget, including the following information, as applicable: (Fiscal Year, Total Cost, CPC Funds Requested, Other Sources of Funding sought and received, and cost estimates / quotes received):*
Budget breakdown is attached to this submission. _____

7. *Assessors office identification map, map and parcel number:*

155 / 003



Signature of Applicant

8/24/11

Date

Additional information may be provided as well as requested.



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Community Preservation Committee

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Estimated Phase I Project Costs

Site Work	\$ 35,100
Superstructure	49,255
Plumbing	4,000
HVAC	3,000
Electrical	9,000
Selective Demolition	10,650
Subtotal	\$ 107,405

General Conditions @ 14%	15,000
Subtotal	\$122,405

OH+P 12%	14,688
Phase I Construction Total	\$ 137,093

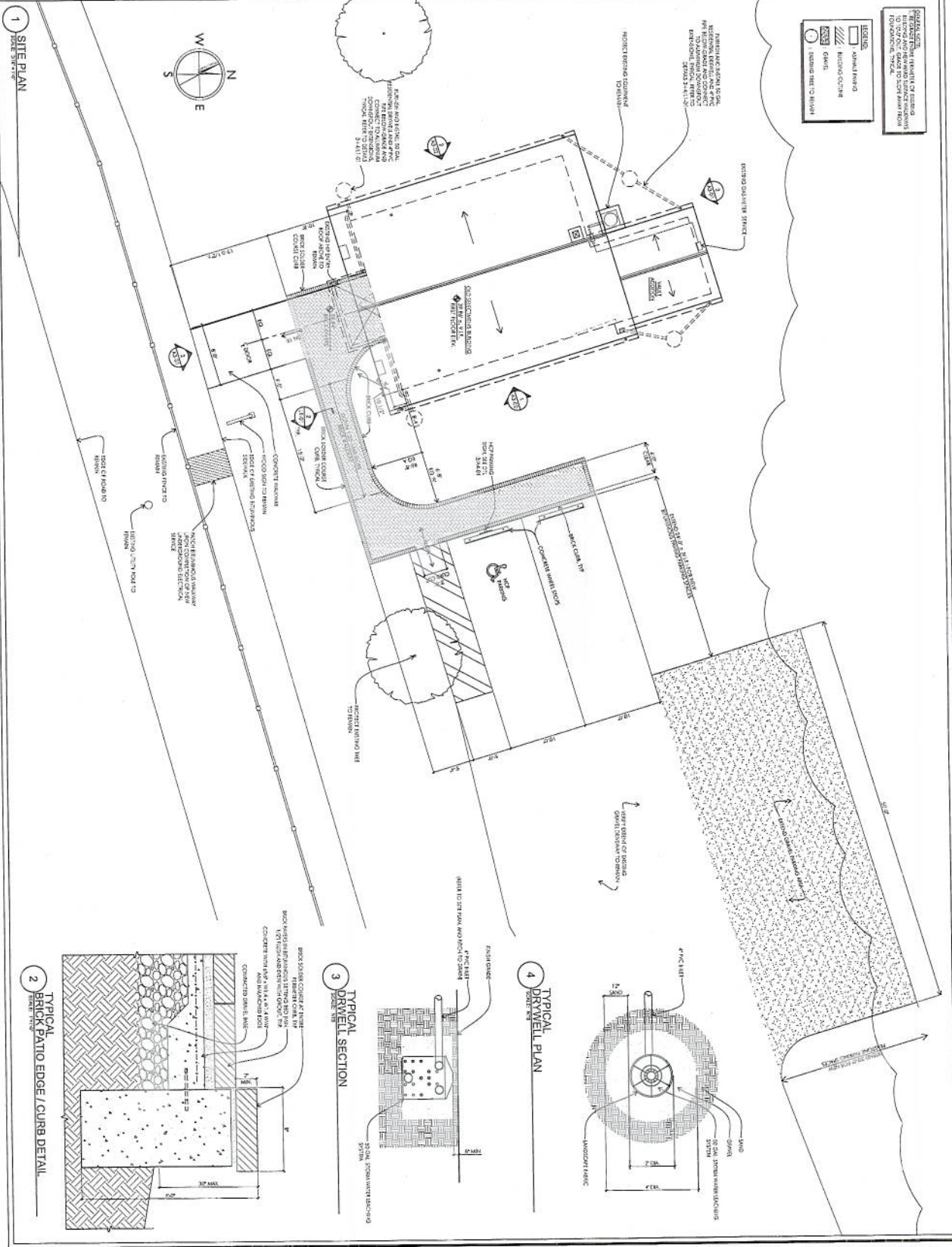
TOB Soft Costs l.s.	8,000
Phase I Project Total	\$ 145,093

Gift Fund Account	(\$ 59,815)	The gift fund has \$59,815.25 as of February 28, 2011
CPC Funding Request	\$ 85,278	

The estimated budgets that have been developed must be conservative as there are many unknowns that will be discovered as the work proceeds, thus requiring additional repair, replacement or restoration work. My experience with restoration has been that project contingencies must be adequate to anticipate a variety of unknowns in the project and allow for the completion of the project.

Following Phases would include:

1. Removing and replicating the decorative and elaborate exterior white cedar shingle sidewalls incorporating insulation into the old walls;
2. Removing and restoring standing and running trim while dealing with haz-mat issues of lead paint;
3. Removing and replacing the red cedar wood shingle roof with breather paper and felt beneath; replace rotted sheathing as required, new copper gutters and downspouts;
4. Removing and replacing unsound, rotted wood sills, studs, joists and siding;
5. Dealing with the open masonry joint between the vault and the old wood building;
6. Renovating the toilet room into an ADA facility;
7. Additional HVAC, plumbing and electrical upgrades;



CPBI
CONSULTING INC.

115 DOUGHERTY AVENUE
BOSTON, MA 02117
P: (617) 244-4977
F: (617) 244-4977
C: (617) 244-4977
www.cpbiconsulting.com

25
YEARS

TOWN OF BARNSTABLE
3111 WEBSTER HOUSE WAY
WEST BARNSTABLE, MA

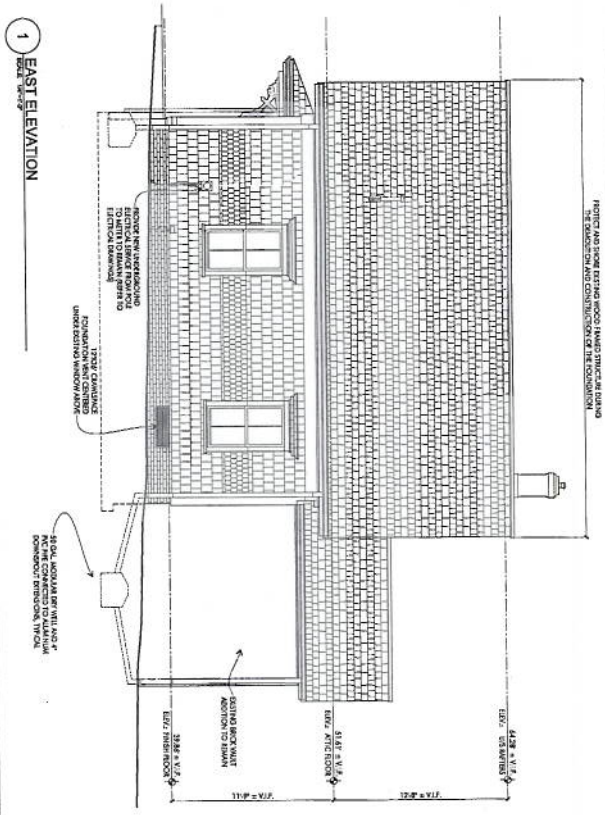
PHASE I: ADA UPGRADES AND STRUCTURAL REPAIRS AT OLD SELECTMENS BUILDING

BID DOCUMENTS

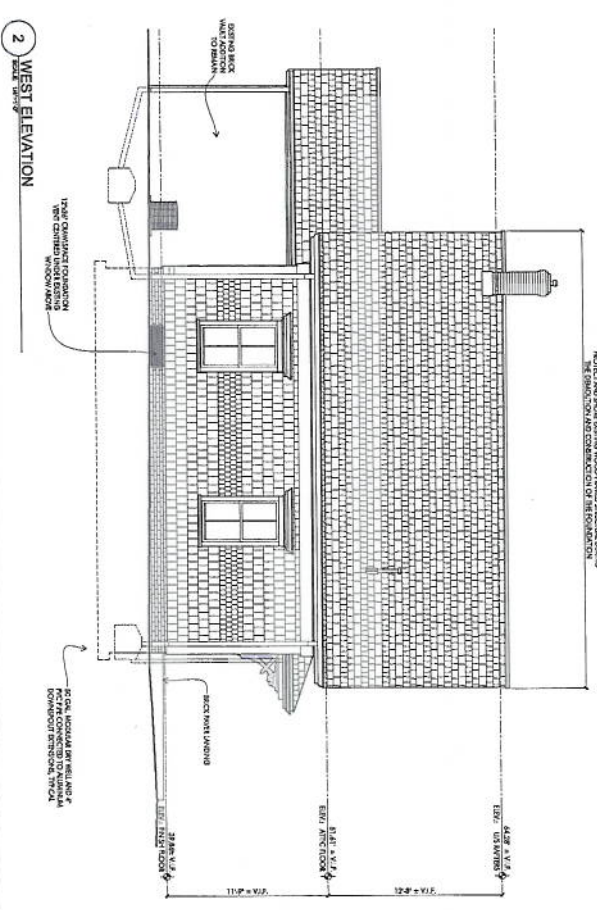
0201011
Project Number: 0201011
Project Name: ADA UPGRADES AND STRUCTURAL REPAIRS AT OLD SELECTMENS BUILDING
Drawing No.: L1-01
Date: 10/20/14

L1-01

SITE PLAN AND DETAILS



1 EAST ELEVATION



2 WEST ELEVATION



CB1
CONSULTING INC.

215 DORCHESTER AVENUE
BOSTON, MA 02117
P (617) 244-8977
F (617) 442-1877
www.cb1inc.com

PHASE I: ADA
UPGRADES AND
STRUCTURAL
REPAIRS AT OLD
SELECTMENS
BUILDING



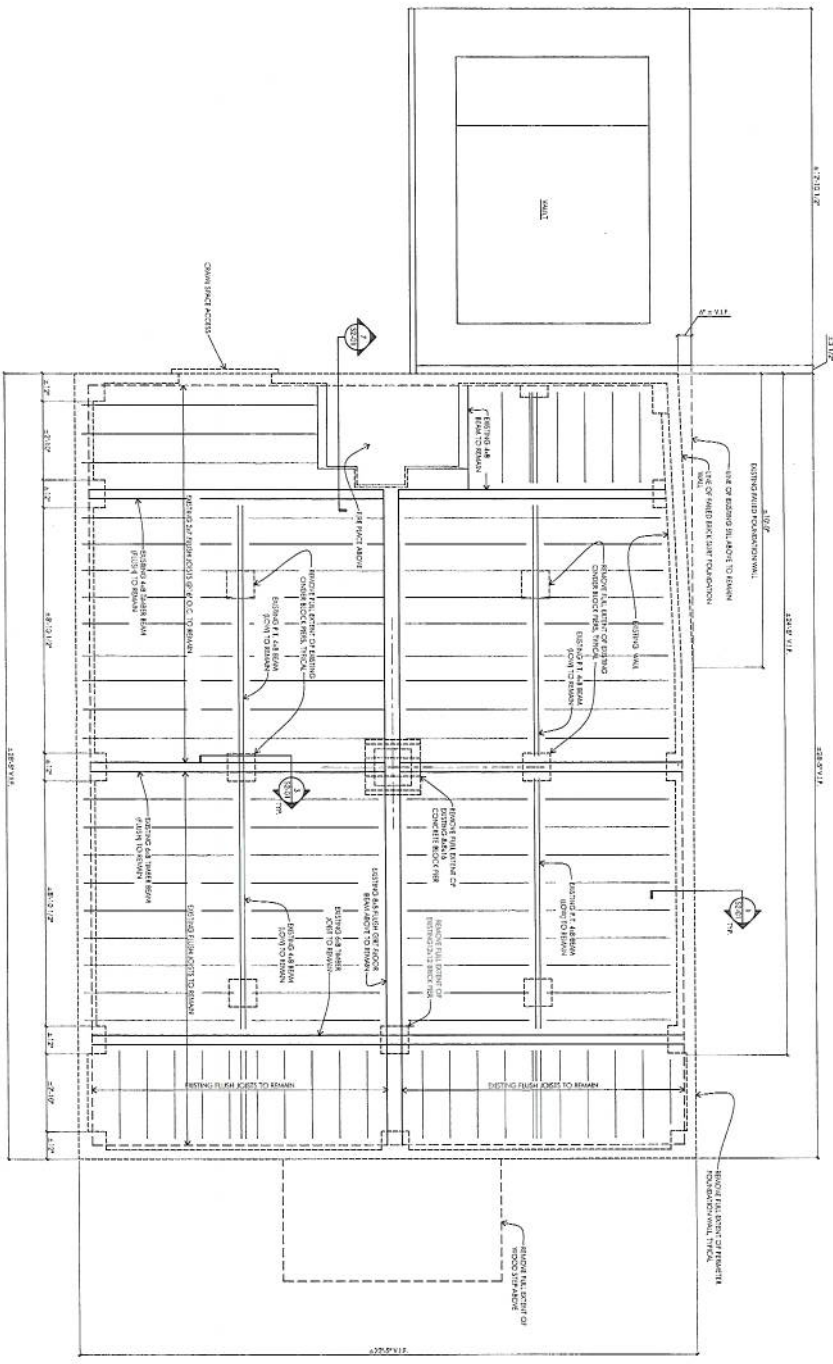
TOWN OF
BARNSTABLE
227 WASHINGTON STREET
WEST BARNSTABLE, MA

EXTERIOR
ELEVATIONS

BID DOCUMENTS

A2-02

1 FIRST FLOOR FRAMING AND FOUNDATION DEMOLITION PLAN



BID DOCUMENTS

TOWN OF BARNSTABLE
 2311 MEETING HOUSE WAY
 WEST BARNSTABLE, MA
 01906



PHASE I: ADA UPGRADES AND STRUCTURAL REPAIRS AT OLD SELECTMENS BUILDING

250 CONCHETTA AVENUE
 BOSTON, MA 02117
 P: (617) 244-2322
 F: (617) 244-2322
 www.cbiconsulting.com



SDI-01

Date: 08/23/11
 Project Number: 20114
 Project Designer: CSE
 Drawn By: AS/07/09



CBI
CONSULTING INC.

255 DODD CENTER AVENUE
BOSTON, MA 02113
P (617) 246-8277
F (617) 444-2971
cib@cbiconsultinginc.com
www.cbiconsultinginc.com

**BUILDING
ENVELOPE AND
STRUCTURAL
REPAIRS AT OLD
SELECTMENS
BUILDING**



**TOWN OF
BARNSTABLE
2011 MEETING HOUSE WAY
WEST BARNSTABLE, MA**

Drawn By: TSK

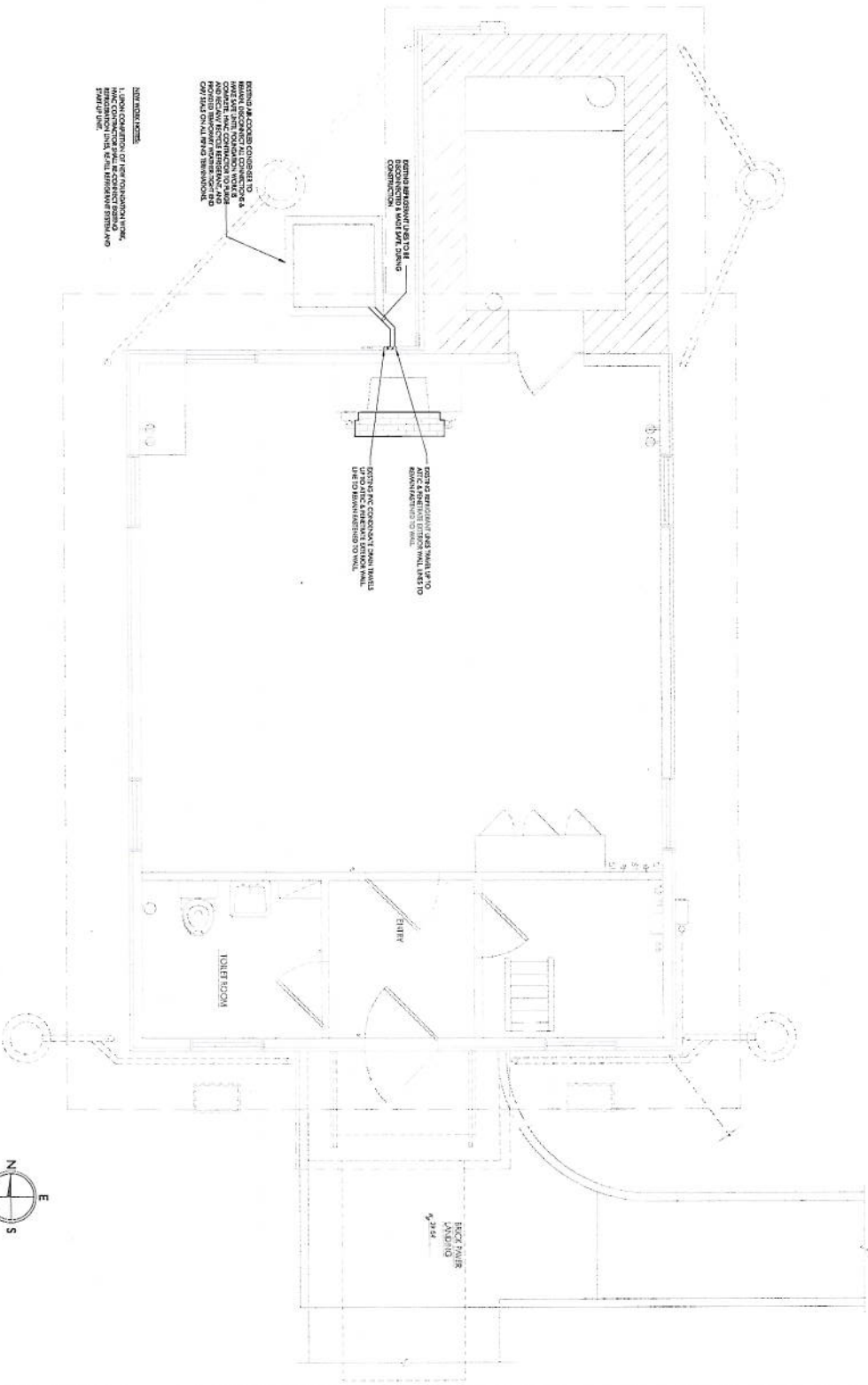
**FIRST FLOOR
PLAN**

**HVAC-FIRST
FLOOR PLAN**

BID DOCUMENTS

Date: 02/24/11
Project Number: 090348
Drawing Title: HVO
Scale: AS SHOWN

M.I.01



DUCTS TO BE INSTALLED IN THE
CONCRETE FLOOR AND CEILING

DUCTS TO BE INSTALLED AND SHALL BE TO
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TIONS TO BE MADE TO MATCH.

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CONCRETE FLOOR AND CEILING

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1
FIRST FLOOR PLAN
SCALE: 1/2"=1'-0"

BUILDING ENVELOPE AND STRUCTURAL REPAIRS AT OLD SELECTMENS BUILDING



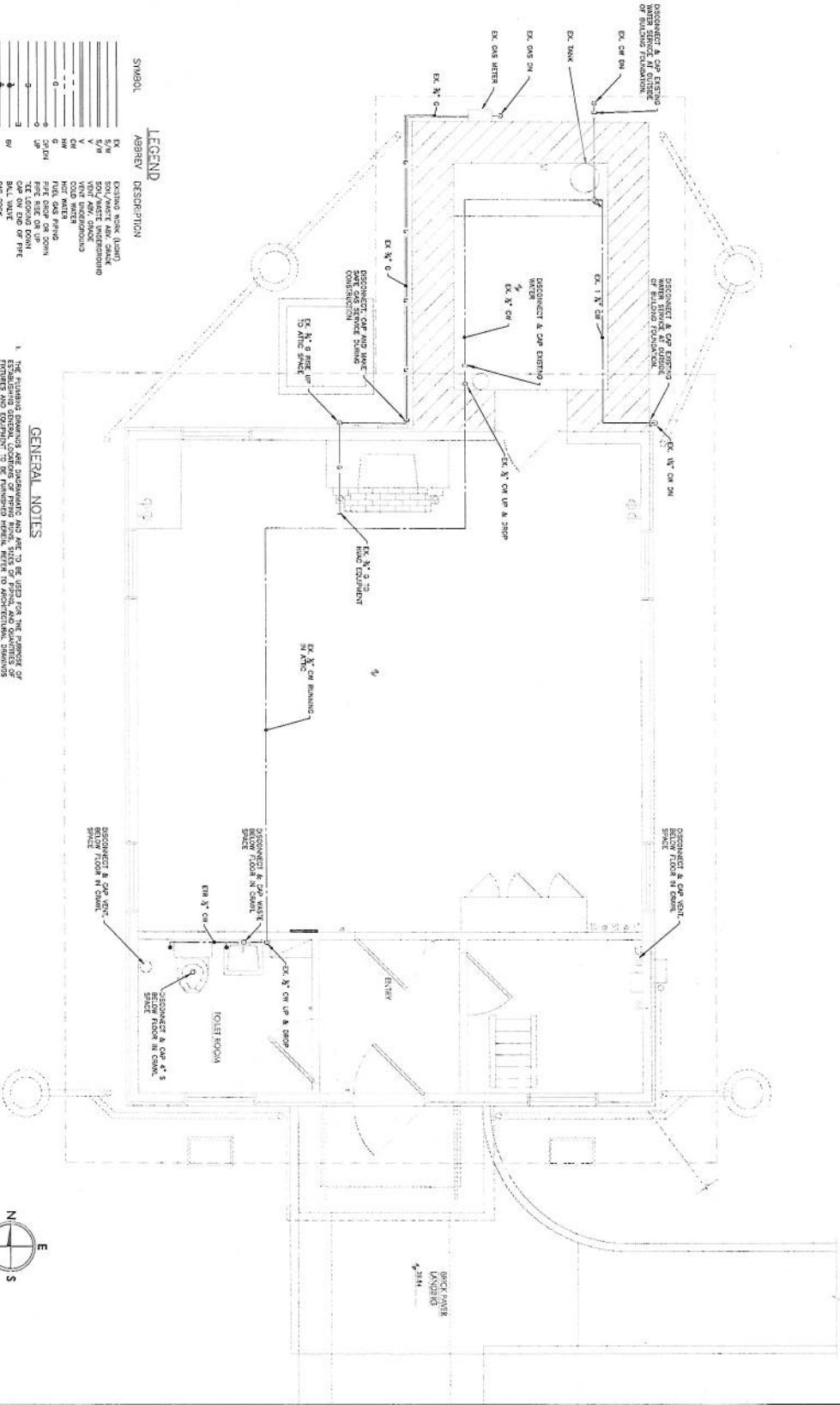
TOWN OF BARNSTABLE
2111 HEEING HOUSE WAY
WEST BARNSTABLE, ON
N0W 1T0

FIRST FLOOR PLUMBING PLAN

BID DOCUMENTS

Date: 03/20/11
Project Number: 00214
Project Name: 1st
Scale: 1/2" = 1'-0"

P0.01



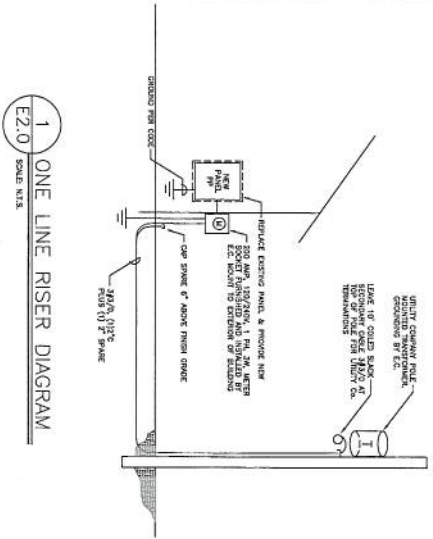
LEGEND

SYMBOL	ABBREVI	DESCRIPTION
---	EX	EXISTING WORK (LIGHT)
---	SM	SOIL/WAST INTERFERING
---	V	VENT ANY DIAPHR
---	CH	COLD WATER
---	HW	HOT WATER
---	SM	SOIL/WAST INTERFERING
---	UP	PIPE USED ON UP
---	DN	PIPE USED ON DN
---	CP	CAP ON END OF PIPE
---	BY	BALL VALVE
---	EN	ENDING TO BEAKN
---	CTE	CONNECT TO EXISTING
---	PFE	PROPOSED FLOOR ELEVATION
---	FIN	FINISH FLOOR

GENERAL NOTES

- The following drawings are supplementary and are to be used for the purpose of providing a general overview of the plumbing system. They do not constitute a contract and are subject to change without notice. The architect is responsible for the accuracy of all visible equipment.

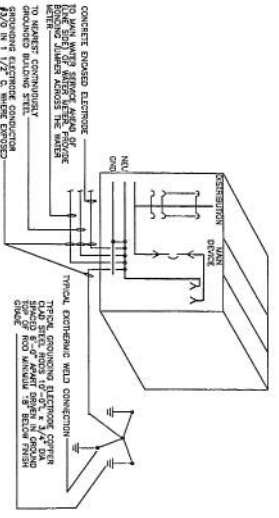
NOTE: NOT ALL SYMBOLS LISTED ARE APPLICABLE TO THIS PROJECT



1 ONE LINE RISER DIAGRAM
SCALE: N.E.S.

120/240V, 14, 2K, 10K MC

PANEL SCHEDULE										
PANEL NO.	LOCATION	WBS	MAIN BUS	MAIN CB	BRANCH CIR. BREAKER (AMPS)					TOTAL CIRCUITS
SP	STORAGE ROOM	220	200/2	15	20	30	15	20	30	42
										42



2 MAIN PANEL GROUNDING DETAIL
SCALE: N.E.S.

ALL PANELS SHALL BE RATED EQUAL TO OR GREATER THAN ALL LOADS (LAMPS, MOTORS, FITTING, ETC.) FOR A COMPLETE AND PROPER INSTALLATION.

POLE TYPE	MANUFACTURER	CATALOG NO.	WGT.	VOL. (KVA)	LAMPS	REMARKS
1	HYDRA	482-120-150-WT-1N	120	1	35	LIGHT MAIN W/L
2	HYDRA	482-120-150-WT-1N	120	2	5.4	EMERGENCY LIGHTING UNIT
3	HYDRA	482-120-150-WT-1N	120	2	1.0	EXT. SW. V. 2. H. CLOS.

ACCEPTABLE EQUAL MANUFACTURERS
1 HYDRA
2 HYDRA
3 HYDRA

LIGHTING FIXTURE SCHEDULE

- LIGHTING FIXTURE NOTES:
1. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
 2. DESCRIPTIONS AND NOTES MAY INCLUDE THIS THAT ARE NOT INDICATED IN THE CHANGE ORDER.
 3. QUANTITY OF LIGHTING FIXTURES SHALL BE AS SHOWN ON THE DRAWINGS. DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 4. ALL LIGHTING FIXTURES SHALL HAVE HIGH PRAISE FACTOR, OVER 90 ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.
 5. ALL LIGHTING FIXTURES SHALL HAVE HIGH PRAISE FACTOR, OVER 90 ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.
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 14. ALL LIGHTING FIXTURES SHALL HAVE HIGH PRAISE FACTOR, OVER 90 ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.

GENERAL NOTES:

1. THE SCOPE OF WORK SHALL INCLUDE PROVIDING ALL WORK, MATERIALS AND EQUIPMENT WITH ALL TOOLS, SCREW DRIVERS, AND OTHER NECESSARY TOOLS AND EQUIPMENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BARNSTABLE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BARNSTABLE.
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17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BARNSTABLE.
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TOWN OF BARNSTABLE
3311 PIERING HOUSE WAY
WEST BARNSTABLE, MA

BUILDING ENVELOPE AND STRUCTURAL REPAIRS AT OLD SELECTMENS BUILDING

25 YEARS

CR CONSULTING INC.

150 BOURCHESIER AVENUE
BOSTON, MA 02117
617.251.1111
www.crisconsulting.com

BID DOCUMENTS

E2.0



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Fax: 508-790-4782



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Project Submission Form

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Submission Date: August 24, 2011

Project Title: Trayser Museum Building Restoration Project

Project Map / Parcel: 299 / 046

Estimated Start Date: April 2012

Estimated Completion Date: October 2012

Purpose (please select all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Open Space | <input checked="" type="checkbox"/> Public |
| <input type="checkbox"/> Community Housing | <input type="checkbox"/> Private |
| <input checked="" type="checkbox"/> Historic | <input type="checkbox"/> Non-Profit |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Partnership (Describe below #3) |
| <input checked="" type="checkbox"/> Town Affiliation (If any, applications must be submitted to Town Manager) | |

RECEIVED
NOV 22 2012
AIP
to rmo
Community Preservation Committee

Project Coordinator Contact Information:

Name: John Juros, AIA, Owner's Project Manager, Town of Barnstable, Department of Public Works, Administration & Technical Support Division

Organization (if applicable): Town of Barnstable, Department of Public Works

Address: 800 Pitcher's Way, Hyannis, MA

Mailing Address:

Daytime Phone : 508-790-6320

E-mail address: john.juros@town.barnstable.ma.us

Primary Contact (if different from applicant contact)

Name: _____

Address: _____

Mailing Address: _____

Daytime Phone #: _____

E-mail address: _____

Budget Summary:

Total budget for project: \$ 200,000.00

CPA funding request: \$ 200,000.00

Matching funds (committee / under consideration): \$0.00

Please address the following questions:

1. Project summary (description and goals):

Masonry repairs and building stabilization, Site drainage improvements, Window restoration.

2. How does this project help preserve Barnstable's character?

A long term investment in the Town's infrastructure providing necessary repairs to the building in order to maintain the working usefulness of the structure and the personnel and visitors utilizing this necessary facility. _____

3. Partnership(s) Description:

N/A

4. Provide a detailed project timeline:

Funding & Design – September 2011 to February 2012, Bid – February to April 2012, Construction – April to October 2012

5. How does this project meet the General Criteria and Category Specific Criteria for CPC projects?

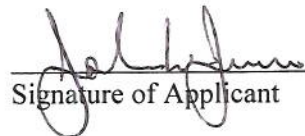
By replacing and or restoring worn out building fabric to preserve not only the building but also portions of historic Barnstable _____

6. Provide a detailed budget, including the following information, as applicable: (Fiscal Year, Total Cost, CPC Funds Requested, Other Sources of Funding sought and received, and cost estimates / quotes received):

Budget breakdown is attached to this submission.

7. Assessors office identification map, map and parcel number:

299 / 046



Signature of Applicant

8/24/11

Date

Additional information may be provided as well as requested.



The Town of Barnstable
Community Preservation Committee

367 Main Street, Hyannis, MA 02601

Office: 508-862-4675

Fax: 508-790-4782



Lindsey Counsell, Chair
Laura Shufelt, Vice Chair
Marilyn Fifield, Clerk

Theresa M. Santos, Administrative Assistant
Alisha P. Stanley, Project Coordinator

The initial Phase I work will include:

1. The windows on the main and second floor are in poor shape. The sash should be removed; the wood jambs and cast iron trim stripped of paint and repainted; new wood sash fabricated with insulating glass and weatherstripping, new balances, lift handles and locks. There are about 25 windows in various states of deterioration. The cast iron trim work should be repaired scrapped and painted.
2. The flashing on the beltway around the second floor should be removed and replaced with lead coated copper flashing with masonry being repaired at selected locations. This should eliminate the water leaking into various wall surfaces on the first floor. Repair masonry and pre-cast throughout the exterior wall.

Estimated Phase I Project Costs

Window restoration/glazing/painting	\$ 110,000
Masonry, painting and copper flashing repairs & replacement	23,000
Subtotal	\$ 133,000
General Conditions @ 14%	18,620
Subtotal	\$ 141,620
OH+P 12%	17,000
Phase I Construction Total	\$ 158,620
TOB Soft Costs I.s.	40,000
Phase I Project Total	\$ 198,620
CPC Funding Request	\$ 200,000

The estimated budgets that have been developed must be conservative as there are many unknowns that will be discovered as the work proceeds, thus requiring additional repair, replacement or restoration work. My experience with restoration has been that project contingencies must be adequate to anticipate a variety of unknowns in the project and allow for the completion of the project.



**The Town of Barnstable
Community Preservation Committee**

367 Main Street, Hyannis, MA 02601

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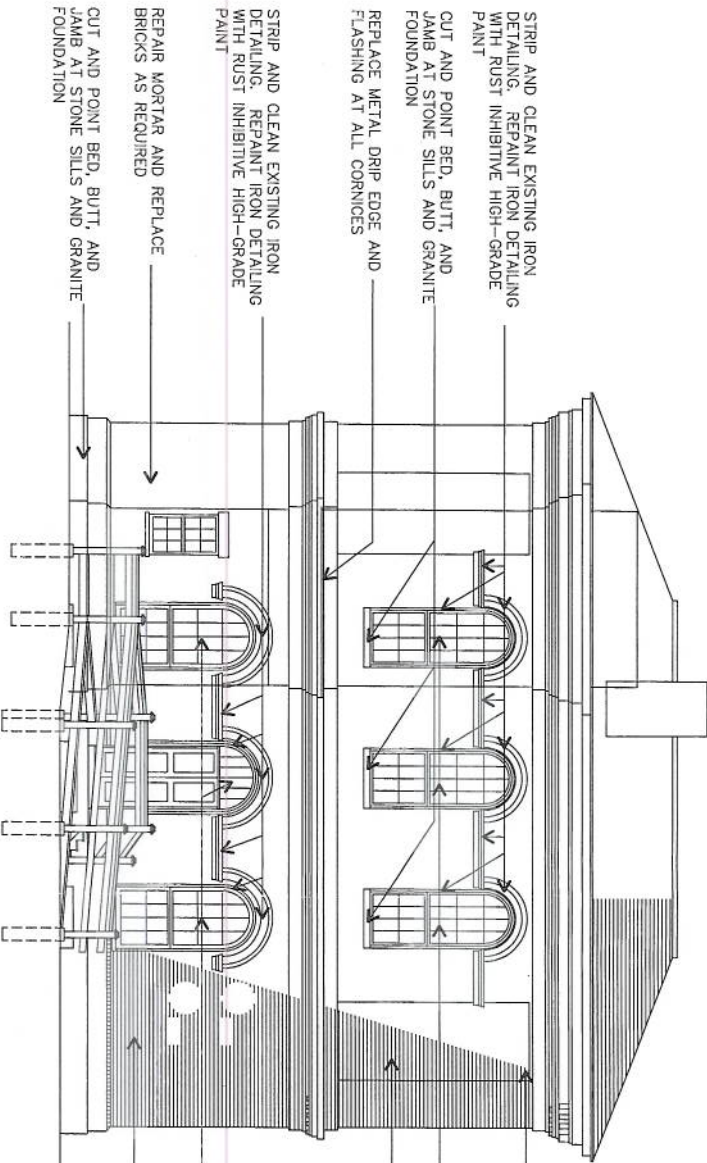


Lindsey Counsell, Chair
Laura Shufelt, Vice Chair
Marilyn Fifield, Clerk

Theresa M. Santos, Administrative Assistant
Alisha P. Stanley, Project Coordinator

Following Phases would include:

1. The brick walk at the lower entry steps should be removed partially and the base compacted and bricks laid flush with the top of the granite steps. Correct base grading issues and compact. This walk is a serious tripping hazard. There are also signs of water leaking in through the basement wall especially on the north elevation. The brick pavement should all be removed and piping investigated as to the source of water against the north basement wall. Reset the granite steps. Estimated value for this is \$50,000;
2. Repair/replacement of the iron balcony, correct and repair poor masonry and joints, estimated value \$47,000;
3. Full asphalt roofing and flashing replacement, estimated value, estimated value of \$74,000;
4. Upgrade door hardware and toilet, repair access ramp to meet ADA requirements, estimate value of 39,000.



STRIP AND CLEAN EXISTING IRON
DETAILING. REPAINT IRON DETAILING
WITH RUST INHIBITIVE HIGH-GRADE
PAINT

CUT AND POINT BED, BUTT, AND
JAMB AT STONE SILLS AND GRANITE
FOUNDATION

REPLACE METAL DRIP EDGE AND
FLASHING AT ALL CORNICES

STRIP AND CLEAN EXISTING IRON
DETAILING. REPAINT IRON DETAILING
WITH RUST INHIBITIVE HIGH-GRADE
PAINT

REPAIR MORTAR AND REPLACE
BRICKS AS REQUIRED

CUT AND POINT BED, BUTT, AND
JAMB AT STONE SILLS AND GRANITE
FOUNDATION

REPAIR MORTAR AND REPLACE
BRICKS AS REQUIRED

REMOVE AND RESTORE FANLIGHT & DOUBLE
HUNG WINDOWS. INSTALL INTERIOR STORM
WINDOW

SODA OR WALNUT SHELL BLAST MASONRY TO
REMOVE RED BRICK PAINT

REPAIR MORTAR AND REPLACE
BRICKS AS REQUIRED

REMOVE AND RESTORE FANLIGHT AND DOUBLE
HUNG WINDOWS. INSTALL INTERIOR STORM
WINDOW

APPLY BREATHABLE MASONRY COATING TO
ALL MASONRY SURFACES

1 SOUTH ELEVATION

SCALE: 1/8"=1'-0"

TOWN OF BARNSTABLE
HISTORIC BUILDING STUDY
DESCRIPTION
TRAYER MUSEUM
SOUTH ELEVATION

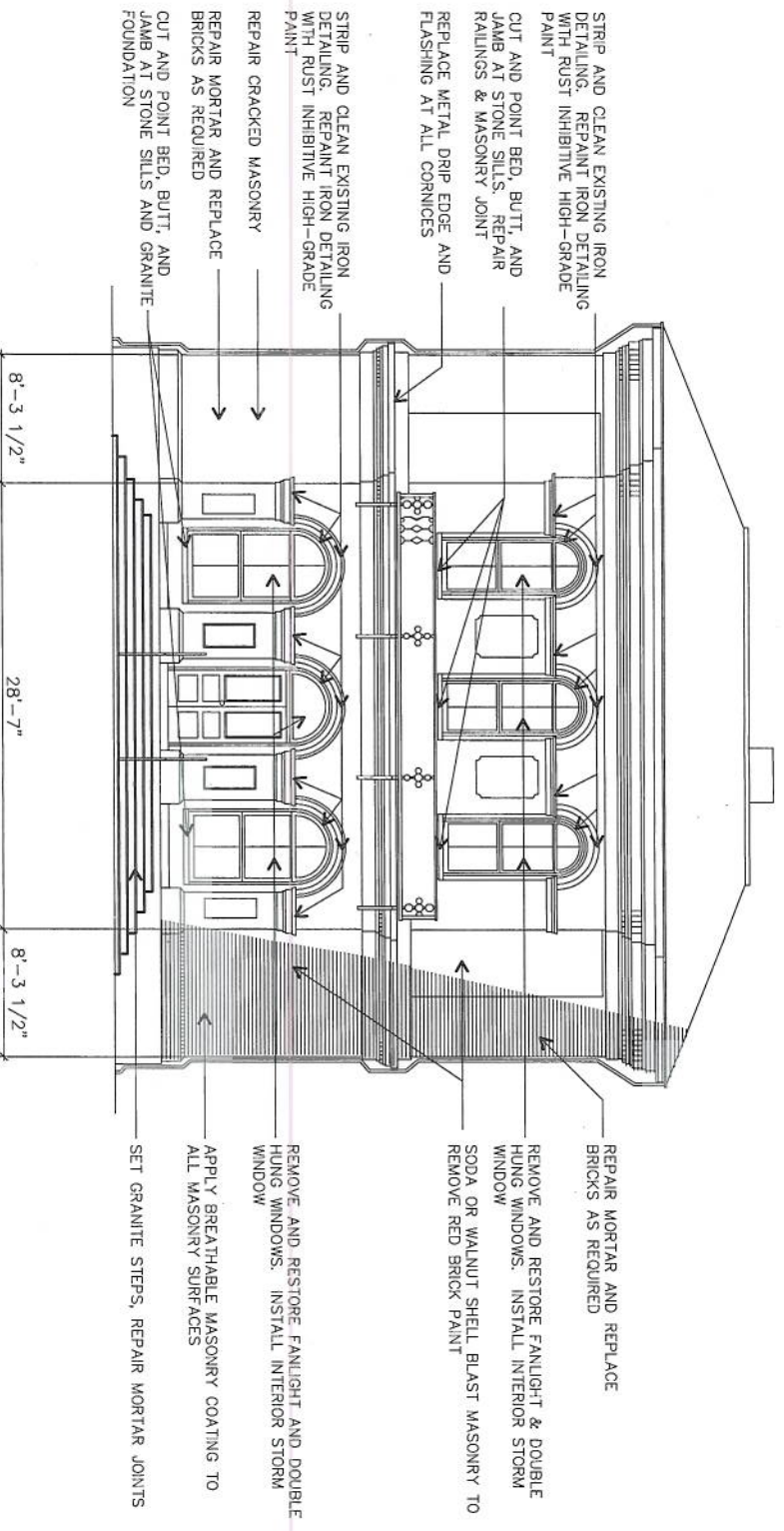
CBI
CONSULTING INC.
250 DORCHESTER
BOSTON, MA 021
7 (617) 268-00
7 (617) 464-29
info@cibiconsulting.com

CHECKED
DAYT SAW
DATE 8/24/2011
REVISION

SHEET No.
TM-5

PROJ #09034

TOWN OF BARNSTABLE
 HISTORIC BUILDING STUDY
 DESCRIPTION
 TRAYSER MUSEUM
 NORTH ELEVATION



1
 NORTH ELEVATION

SCALE: 1/8"=1'-0"

CHECKED
SAW

DATE
8/24/2011

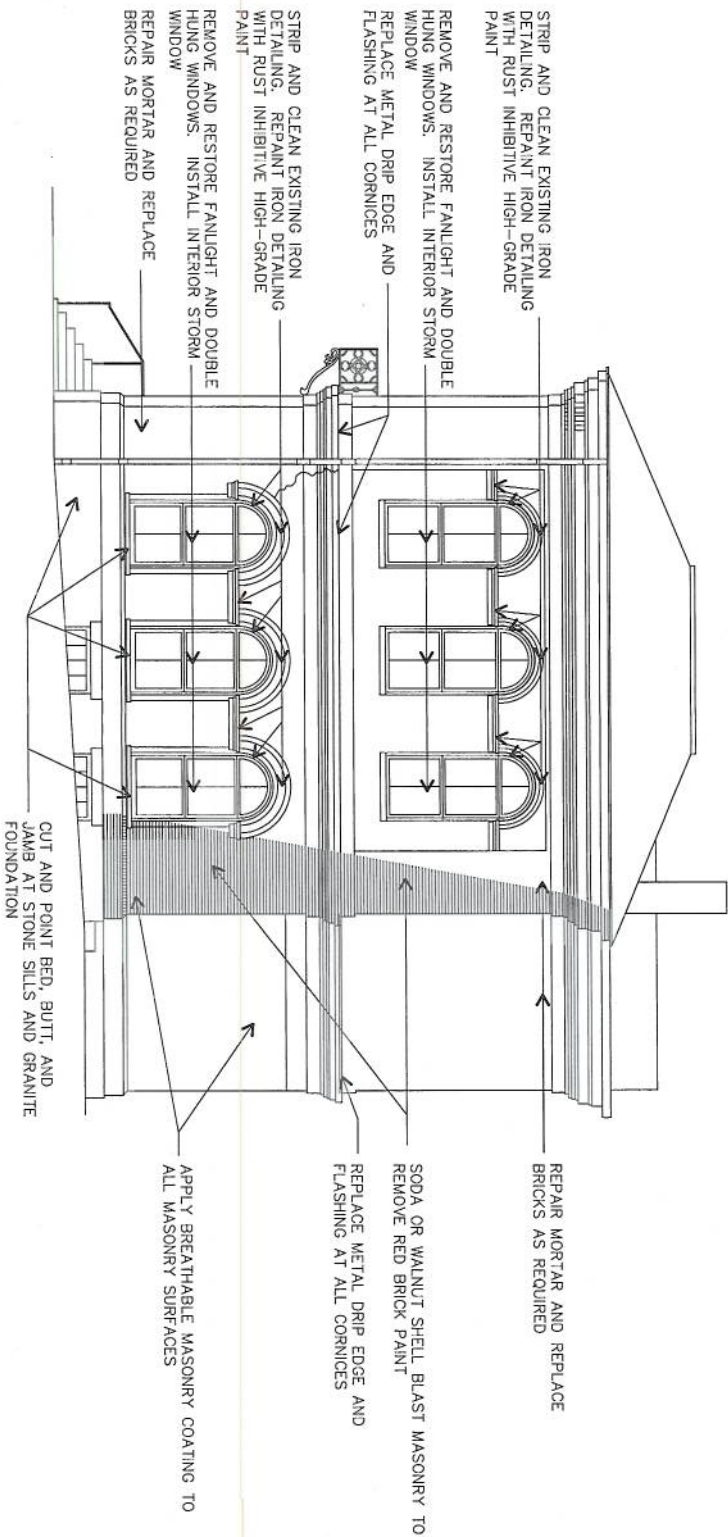
REVISION

SHEET No.

TM-6

PROJ #09034

TOWN OF BARNSTABLE
 HISTORIC BUILDING STUDY
 DESCRIPTION
 TRAYSER MUSEUM
 WEST ELEVATION



STRIP AND CLEAN EXISTING IRON
 DETAILING. REPAINT IRON DETAILING
 WITH RUST INHIBITIVE HIGH-GRADE
 PAINT

REMOVE AND RESTORE FANLIGHT AND DOUBLE
 HUNG WINDOWS. INSTALL INTERIOR STORM
 WINDOW
 REPLACE METAL DRIP EDGE AND
 FLASHING AT ALL CORNICES

STRIP AND CLEAN EXISTING IRON
 DETAILING. REPAINT IRON DETAILING
 WITH RUST INHIBITIVE HIGH-GRADE
 PAINT

REMOVE AND RESTORE FANLIGHT AND DOUBLE
 HUNG WINDOWS. INSTALL INTERIOR STORM
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 REPAIR MORTAR AND REPLACE
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REPAIR MORTAR AND REPLACE
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SODA OR WALNUT SHELL BLAST MASONRY TO
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 REPLACE METAL DRIP EDGE AND
 FLASHING AT ALL CORNICES

APPLY BREATHABLE MASONRY COATING TO
 ALL MASONRY SURFACES

CUT AND POINT RED, BUTT, AND
 JAMB AT STONE SILLS AND GRANITE
 FOUNDATION

1
 WEST ELEVATION

SCALE: 1/8"=1'-0"

CHECKED
 SAW

DATE
 8/24/2011

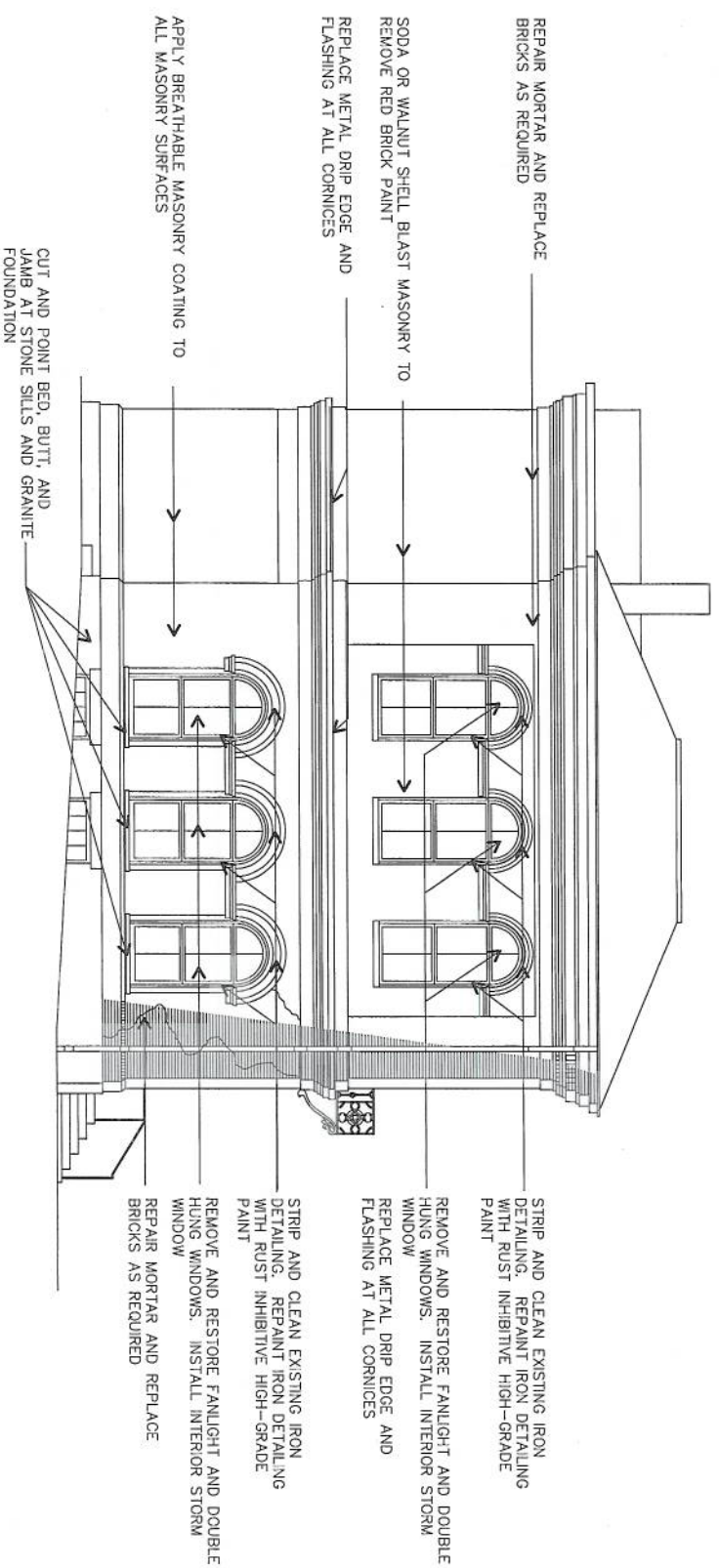
REVISION

SHEET No.
 TM-7

PROJ.#09034

1 EAST ELEVATION

SCALE: 1/8"=1'-0"



REPAIR MORTAR AND REPLACE BRICKS AS REQUIRED

SODA OR WALNUT SHELL BLAST MASONRY TO REMOVE RED BRICK PAINT

REPLACE METAL DRIP EDGE AND FLASHING AT ALL CORNICES

APPLY BREATHABLE MASONRY COATING TO ALL MASONRY SURFACES

CUT AND POINT BED, BUTT, AND JAMB AT STONE SILLS AND GRANITE FOUNDATION

STRIP AND CLEAN EXISTING IRON DETAILING. REPAINT IRON DETAILING WITH RUST INHIBITIVE HIGH-GRADE PAINT

REMOVE AND RESTORE FANLIGHT AND DOUBLE HUNG WINDOWS. INSTALL INTERIOR STORM WINDOW
REPLACE METAL DRIP EDGE AND FLASHING AT ALL CORNICES

STRIP AND CLEAN EXISTING IRON DETAILING. REPAINT IRON DETAILING WITH RUST INHIBITIVE HIGH-GRADE PAINT

REMOVE AND RESTORE FANLIGHT AND DOUBLE HUNG WINDOWS. INSTALL INTERIOR STORM WINDOW
REPAIR MORTAR AND REPLACE BRICKS AS REQUIRED

CBI
CONSULTING INC
250 BOSTON STREET
BOSTON, MA 02116
P (617) 268-8800
F (617) 484-2200
CBI@CBI-CONSULTING.COM

TOWN OF BARNSTABLE
HISTORIC BUILDING STUDY
DESCRIPTION
TRAYSR MUSEUM
EAST ELEVATION

CHECKED
DATE 8/24/2011
REVISION

SHEET No.
TM-8

PROJ #09034



December 2, 2011

Community Preservation Committee
Attn: Lindsey Counsell, Chairman
Town Hall
367 Main Street, Hyannis, MA 02601

Dear Mr. Counsell,

The Hyannis Public Library is resubmitting the letter of interest (originally dated May 7, 2008) to the Barnstable Community Preservation Committee to include your recent recommendations for the preservation of our historic Hinckley Building.

The Hyannis Public Library is a non-profit 501-(c)(3) organization. It was established in 1865. The library serves as a learning and educational source to the residents of the Town of Barnstable, the Village of Hyannis, and surrounding communities.

The Hyannis community includes special populations that utilize the library, including persons and families who are homeless, persons who are mentally ill or developmentally delayed, and persons who are institutionalized. The library serves our local school children, as well as elderly residents. The library is used by residents of the Mid-Cape, year-round and summer populations.

In 2008, the Hyannis Public Library submitted a proposal for funding to cover costs associated with the preservation and restoration of windows and the exterior of the building. Chair Counsell and Community Preservation Committee Historic Consultants James Hadley and Patricia Crow visited the site multiple times to assist us with best order of action to move forward with the request. It was determined that the foundation needs to be considered first in the restoration and preservation plan that includes solving the drainage issues.

The Hinckley building has served as the library's home since 1909. The Trustees of the library are committed to preserving the building on Main Street and to providing excellent library service to the community. These renovations will help preserve this historic building for future generations.

Attached is the memorandum of projected costs, prepared by Hadley Crow Studios. We are currently seeking additional funds to meet our contributions to the project. In October 2011 we applied to the Cape Cod Antique Dealers Association, Inc. for \$1000 to contribute to the restoration of the windows in the Hinckley Building. Additionally, The Hyannis Main Street Business Improvement District is about to launch a campaign to seek funds and in kind product or services from its members in order to help preserve our historic library building.

We hope you will accept this request to assist us with the funding for the completion of these projects which are necessary for the survival of our building.

Thank you for considering the Hyannis Public Library as an applicant for these funds. Please do not hesitate to call me at 508-775-2280

Sincerely yours,

Carol J. Saunders
Library Director
Hyannis Public Library

Robert J. Donahue
President, Board of Trustees
Hyannis Public Library



1717 West Parish Meetinghouse

West ParishSM Memorial Foundation, Inc

Preserving the West Parish Meetinghouse as a Memorial to Early America and Americans

Lindsey Counsell, Chair

Community Preservation Committee

367 Main Street

Hyannis, MA 02601

RECEIVED

DEC 12 2011

GROWTH MANAGEMENT

RECEIVED

DEC 14 2011

Community Preservation Committee

ap

December 10, 2011

Dear Mr. Counsell:

The West Parish Memorial Foundation, Inc. is seeking funding from the Barnstable Community Preservation Committee for a project to preserve and restore the historic bell, bell tower, and roof of the West Parish Meetinghouse, located on Route 149 in West Barnstable.

The West Parish Memorial Foundation, Inc. has the unique mission of preserving the West Parish Meetinghouse as an historical memorial of early America and Americans. The Meetinghouse, constructed in 1717, is the oldest public building on Cape Cod, the oldest continuous use Congregational Church building in the country, and is included in National Register of Historic Places as part of the Meetinghouse Way Historic District. The town meetings for the town of Barnstable were held at the 1717 Meetinghouse for 130 years, from its completion in 1719 to 1849. The Meetinghouse also served as the Barnstable school during the early 1700's and its students included Lemuel Shaw (Massachusetts Supreme Court Justice) and James Otis, Jr. (Advocate General). Its original congregation was made up of followers of the Reverend John Lothrop, one of the founders of the town of Barnstable. Its striking post and beam construction is enhanced by a very rare half-ton bell forged in 1806 by Paul Revere & Son, which today still summons community members to meetings and the Church to worship. The bell was the bequest of Col. James Otis, father of James Otis, Jr. "The Patriot," of Revolutionary era fame.

While the Congregationalists continue to use the meetinghouse on Sunday mornings, the West Parish Memorial Foundation is not religiously affiliated. Their primary mission is to preserve this historic Meetinghouse, and provide cultural programs and events for the community. In the 1950s the Meetinghouse underwent major preservation and restoration work that was entirely funded through private donations, and at that time the West Parish Memorial Foundation was formed. Through the Foundation's efforts, the Meetinghouse has continued to be a community gathering place for visitors from near and far. The West Parish Family School and other local organizations regularly use the building for functions. It is also a destination for tourists and visitors to Cape Cod,

as well as researchers, scholars, and those interested in early post-and-beam construction and the architecture of Colonial-era New England meetinghouses. The building has been featured in a number of books on outstanding Colonial architecture, most recently in *A Space for Faith : the Colonial Meeting Houses of New England* by Paul Wainwright.

The work to restore the bell and bell tower would entail creating replica replacement components including a wood yoke, an oak hand-built wheel, oak mortise and tenon base, replica Blake laser-cut "A" stands, hardware and bearings and a new clapper assembly. In addition, a level base or platform for the new bell support structure would be constructed. At the same time, the existing roof would be restored, replacing the cedar shingles and repairing any deteriorating roof structures.

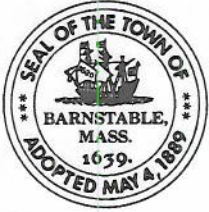
It is estimated that this project would take 6 months, and cost approximately \$100,000. The West Parish Memorial Foundation is a 501(c)3 nonprofit organization which relies solely on private funding from individuals, organizations, businesses, foundations, and granting agencies. The Foundation will be seeking funding from other granting sources and donors in order to raise the capital required to complete the project.

It is the West Parish Memorial Foundation's hope that Barnstable Community Preservation Committee will find this project meets its funding criteria, and we look forward to speaking with you about it in more detail in the near future. Our primary contact is Georgia Lonkart, Chair of the Planning Committee, and she can be reached by phone at 508-789-8401 or by email at georgia@seabreezerealtyco.com.

Sincerely,



Peter Smith, President
West Parish Memorial Foundation



Town of Barnstable
Growth Management Department
www.town.barnstable.ma.us/growthmanagement



December 12, 2011

RECEIVED

Town of Barnstable
Community Preservation Committee
367 Main Street
Hyannis, MA 02601

DEC 13 2011

GROWTH MANAGEMENT

Dear CPC Members:

The Town of Barnstable's Growth Management Department seeks \$200,000 in Community Preservation Act funds to provide financial assistance to homeowners to create new, code compliant units of accessory affordable apartments. This proposed program will provide loans to AAAP applicants in a maximum amount of \$20,000 per homeowner.

PROJECT DESCRIPTION

Since inception the AAAP has created 130 active accessory affordable apartments serving 154 low income tenants. Units are harmonious with their surrounding community and assist the town in meeting its goal of 10% affordability.

Community Development Block Grant funds have funded this program since 2002 and provided some financial assistance to homeowners. Unfortunately 2011 saw a reduction to our entitlement of 16% or \$60,000 with an additional 12% cut for 2012. CDBG funds are available to homeowners only for health and safety upgrades and in a maximum amount of \$5,000. However, many applicants have in excess of \$5,000 in necessary upgrades. In addition, these funds can only be re-imbursed to the homeowner, not paid directly to the contractor, creating another hardship for homeowners.

Lack of available funds has become a major deterrent to creating additional Accessory Affordable Apartments in Barnstable. This year alone six (6) homeowners did not move forward to create a unit due to a lack of funds available to complete the necessary work. Many of the AAAP homeowners are low income themselves, often senior citizens on fixed incomes. Others have no equity to borrow due to the downturn in the real estate market.

This program will be limited to homeowners whose household income is at or below 120% of median income.

Homeowners will execute a deed restriction ensuring the accessory apartment is affordable to households at 80% or less of median income. They will also execute a promissory note and mortgage requiring re-payment of the loan upon sale, re-finance or loss of the affordable unit. The program administrator actively monitors the units for continued program compliance.

TIMELINE

This proposal builds on the Town's very successful Accessory Affordable Apartment Program already in place. Therefore use of the CPC funds could be implemented immediately. The Growth Management Department's AAAP coordinator will administer this program. It is anticipated the CPC funds can be committed within 18 months of program initiation.

PARTNERSHIPS/ SECURED FUNDING

This proposed project will partner with the Growth Management Department's AAA Program and the Community Development Block Program. The AAAP Coordinator will administer these funds and continue to work with several other town departments, including Building, Health and others as necessary.

The Program has also partnered with the Regional Ready Renters List, administered by the Cape Cod Commission for use in locating and certifying income eligible tenants.

In Program Year 2011, \$105,000 in CDBG funds have been committed to the AAAP for administration and homeowner grants. Homeowners will assume a portion of costs to complete work.

DEMONSTRATED NEED

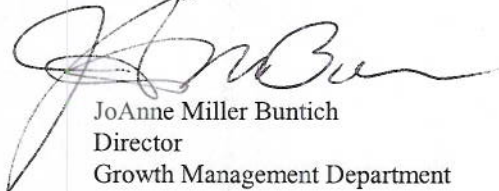
As the number of "amnesty" units decline, the majority of new AAAP applications entail mostly new construction, which brings a higher cost of work. This year alone six (6) applicants did not complete the process because of lack of available funds. Currently there are 23 "pending" applications, the highest number in recent history, who are having difficulty completing the process mostly due to lack of funds.

BENEFIT

Making CPC funds available for the AAAP provides a new source of funds for homeowners who wish to create an accessory apartment and therefore increases the number of AAAP units being created. For a comparatively low investment per unit, a new affordable rental unit is created. Small affordable rental units are in great demand. There is an ancillary benefit of providing additional income to the homeowners which might enable them to remain in their homes. These additional AAAP units will help the Town meet our affordable housing goals. Accessory apartments increase the diversity of housing options, meet the goal of creating affordable housing in all 7 villages, and the AAAP creates units at a much faster rate than development.

Thank you for consideration of this request. Should you have any questions, do not hesitate to contact JoAnne Miller Buntich, Director, Growth Management Department, Town of Barnstable. 508 – 862-4678 Joanne.buntich@town.barnstable.ma.us

Sincerely,



JoAnne Miller Buntich
Director
Growth Management Department



TOWN OF BARNSTABLE
BARNSTABLE RECREATION DIVISION

PATTI MACHADO
Leisure Services Director
141 Bassett Lane
Hyannis, MA 02601
Tel: 508-790-6345
Fax: 508-790-6279

E-Mail: Recreation@town.barnstable.ma.us



To Lindsey Counsell, Chairman of the CPC
From Patti Machado, Leisure Service Director
Re: Osterville Bay School and Grounds
Date December 7, 2011

RECEIVED

DEC 08 2011

Community Preservation Committee

Dear Mr. Counsell and Community Preservation Committee,

Most of the Town of Barnstable Athletic Fields are in need of updating and renovation to meet the needs of the Town's growing population and increased popularity of outside sports activities. The designs of these facilities are outdated, and were built to provide gathering spots for neighborhood children and recess to play pick up games. The condition and the layout of the current field spaces were not intended to provide the playing surface, wear resistance and structural facilities that are required for athletics programs of today's standards. The ball fields are especially dangerous and in many constitute a hazard, and are in need of redesign and complete renovation.

At this time I would like to begin with a design project that would begin the process of making functional the Osterville Bay Fields and Grounds outside the Bay School and to provide the community with a usable and safe program space that would meet the needs of the community in 2012 and well beyond.

Recreation Division would like to request approximately \$47,000 in Community Preservation Act funds to fund an RFP that would include a survey of the property, evaluation and design for the athletic complex to include tennis courts, a safe playground and softball field, cost analysis and a program of construction and supervision to complete the project and an estimate of yearly maintenance costs. When the RFP is completed a second request will be submitted for the funds to construct the facility.

I look forward to working with the Community Preservation Committee on this important project and the Recreation Division is excited to be able to bring forward a much needed project in the village of Osterville.

Cc: Joseph O'Brien, Chairman of the Recreation Commission
Lynne Poyant, Director of Community Services
Mark Ells, Director of DPW
Steven Sundelin, Structures & Grounds



PO Box 224 Cotuit, MA 02635 Phone: 508-771-2585 Fax: 508-771-3463 e-mail:blt@cape.com



December 12, 2011

Lindsey Counsell, Chairman
Town of Barnstable Community Preservation Committee
367 Main Street
Hyannis, MA 02601

Re: Korkuch Property in Barnstable Village
Parcels: 299055001 and 299055002

Dear Lindsey,

Barnstable Land Trust has opened up discussions with William Korkuch, whose family owns land off Rt. 6A in Barnstable Village, behind the old jail. The land is of natural and historical significance. Historically, the land was owned by Roger Goodspeed. "Goodspeed's Hill" was the name given the area by the first comers of Barnstable but it is now known as Cobb's Hill. Then the land was part of a much larger tract. The parcel we are discussing now is two lots totaling 8.48 acres that each have frontage on Route 6A. The Town assesses each lot separately with a combined value in excess of \$800,000.

There are extensive wetlands on the property with an assumed access over a right of way between the Coast Guard Museum and the old jail that could presumably be used to access one lot. That right of way shows as a roadway on the 1880 Barnstable County Atlas. It was reportedly used to get to the meeting house and the custom house (now the museum).

Because the Korkuch land is contiguous to Town land, it feels as if it should be in Town ownership. That way the access over the right of way would be secured and the Cape Cod Pathways walking trail that leads to land bank land known as Old Salt Estates would remain as the historic cart path that it has always been.

BLT is just beginning to do our due diligence which would include an appraisal. We know that everyone needs to sharpen their pencils! Assuming we can reach an agreement on price, BLT would then work with the Town to prepare a LAND grant to the State to help fund the acquisition. For its part, BLT would ask to hold a conservation restriction on the land.

We look forward to a signal from the Community Preservation Committee about the importance of this parcel and acceptance into this round for possible CPA funding.

Most sincerely,

A handwritten signature in cursive script that reads "Jaci Barton".

Jaci Barton
Executive Director



Town of Barnstable
Community Preservation Committee
367 Main Street
Hyannis, MA 02601

Dear Alisha,

This letter is in response to your recent letter inquiring as to the status of our CPC project.

Housing Assistance Corporation will be continuing with the "buy down" program. We plan to complete 3 additional projects (homes) in the next 12 months. We projected a \$50,000 subsidy per house. The prices continue to fall and we expect to be able to take advantage of this current market.

HAC looks forward to helping create 3 more units of safe, affordable housing in town. Please call if you have questions or need additional information.

Happy Holidays!

Sincerely, 

Gael Kelleher
Cape Community Real Estate
Housing Assistance Corporation
460 West Main Street
Hyannis, MA 02601

